

Gilbert Bain Hospital Cladding Remedials

RIBA Stage 2 Report - May 2025



Executive Summary

The Stage 1 Design Team has been retained by NHS Shetland via Hub North to develop the concept for replacing defective facades identified at the Gilbert Bain Hospital, Lerwick, whilst maintaining the Hospital's clinical services throughout. This RIBA Stage 2 Report develops the Architectural Concept for the Cladding Remedials and decant requirements fine tuning decant proposals and providing a strategy for safely implementing the extensive repair works. It covers various key topics including the Project Vision, Client's Objectives, Site Information, Facade Replacement, Decant Options and Project Risks.

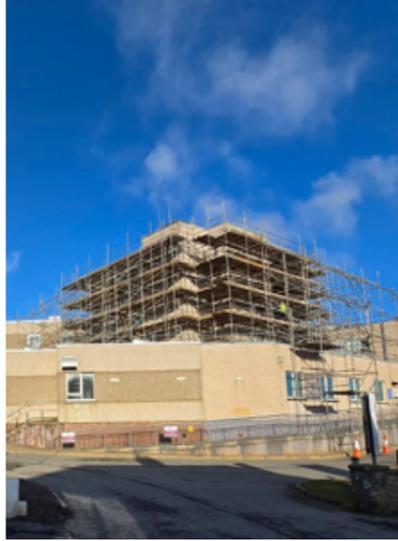
The briefing content has, in part, been provided by the Client and developed with the Design Team through Stages 1 and 2. Stakeholder Engagement has also taken place through Stages 1 and 2. Where any information has been difficult to determine, these items have either been highlighted within or added to the Project Risk Register to ensure they are identified with the intention that they shall be assessed and mitigated as the project progresses. This Concept Stage of work has seen Threesixty, with the Design Team, undertaking a review of the design opportunities and improvements, alongside the technical aspects of achieving the facade replacement around the live hospital environment.

The Initial Project Brief has developed during RIBA Stage 2 - Concept Design as more defined information has become known and understood. The contents of this report will form the agreed Final Project Brief which will be passed on to the Client for sign off prior to the progression of RIBA Stage 3 - Spatial Coordination.

This document contains the appropriate level of drawings, diagrams and imagery to convey the proposed concept design, structural and services implications and detailed decanted departmental layouts to assist the project QS in preparing a cost appraisal and PM developing a programme for project delivery. It should be read in conjunction with the separate Structural and M&E Services Report.



Gilbert Bain Aerial Image



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1

**Strategic
Brief**

The Project Vision

Due to structural failures NHS Shetland are looking to replace the façades of selected elevations of the Gilbert Bain Hospital. The extensive nature of these failures will necessitate the decant of several departments to a mixture of:

1. Temporary modular accommodation in the hospital grounds
2. Reconfigured areas within the main building itself

The Stage 1 exercise explored the technicalities of protecting and repairing the defective façades, the extent of repairs necessary and the pros and cons of feasibility options for department decants to facilitate these repairs.

As the brief has developed and project risks were identified, the programme for the project has expanded. It is now necessary to provide temporary structural protection to the façades during the approvals and procurement process, adding an additional layer of complexity. And with a preferred decant option identified, temporary services relocations can now be identified and strategies developed to ensure continuity of care.

For brevity, we have not included the Stage 1 options within this report, however the Client instructed the Design Team to proceed with Option 2 for the extent of Building Fabric Works and the Best Case Scenario for a Decant Solution from the Stage 1 Report.

A summary of these options are presented on the following pages



Existing Facade Photographs

1.2 Preferred Stage 1 Option Building Fabric

NHS Shetland became concerned with defects in the east elevation wall of the 4 storey tower element of the main building at the Gilbert Bain Hospital following years of intermittent water ingress which had intensified in February 2024 following a prolonged period of south easterly gales accompanied by heavy rain. Mott MacDonald was instructed to inspect the walls of the Phase 1 construction in March 2024 and to inspect cores taken in the outer leaf blockwork between September and October 2024. Their findings are recorded in their Condition Survey Report dated December 2024 which identified various degrees of remedial work required. Following further investigation during Stage 1, advising contractor Robertson's construction determined that elevations 38 and 39 had deteriorated further therefore in terms of the extent of building fabrics work, Option 2 was identified to be developed for RIBA Stage 2 with the following work.

Option 2
Elevations 36 and 37 require some areas of bossed render to be identified and replaced.

Elevations 38 and 39 require all existing render to be removed from the outer leaf of blockwork, and a new rainscreen cladding system is to be installed, spanning between reinforced columns with replacement of cills and lintels throughout.

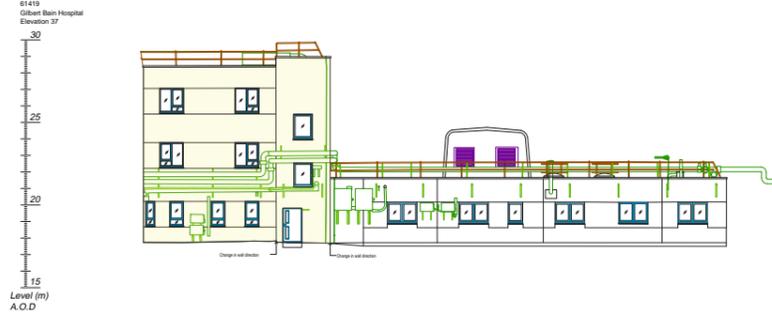
Elevations 40 to 44 require the complete dismantling of the outer leaf of the cavity walls and removal of existing windows. Replacement cladding spanning between the reinforced concrete columns with new insulation is to be installed together with new windows throughout.

Scaffolding on the roof of the Outpatients building has already been erected to shroud the 4 storey Phase 1 building. Internal propping to the inner leaf blockwork walls will be required for the period when the existing inner leaf alone is exposed to wind loading. Because of this, affected areas have been identified and this Stage 2 Report has also had to consider how the identified external repairs can be implemented whilst maintaining critical healthcare services throughout the duration of the works.

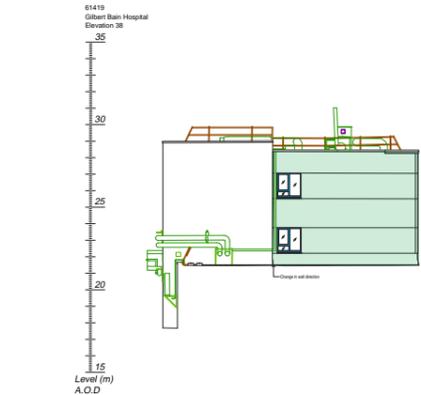
Elevation 36



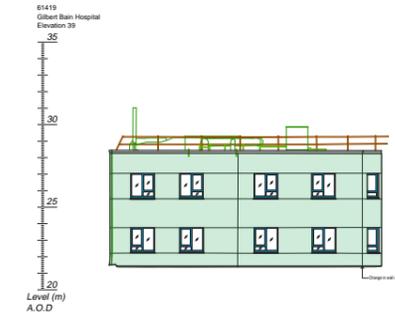
Elevation 37



Elevation 38



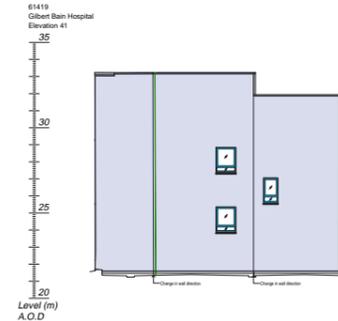
Elevation 39



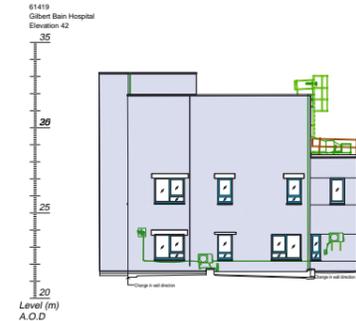
Elevation 40



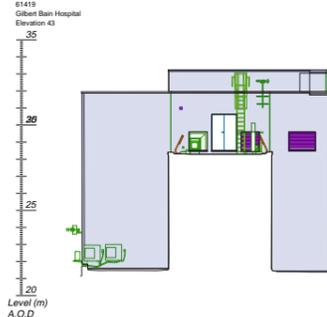
Elevation 41



Elevation 42



Elevation 43

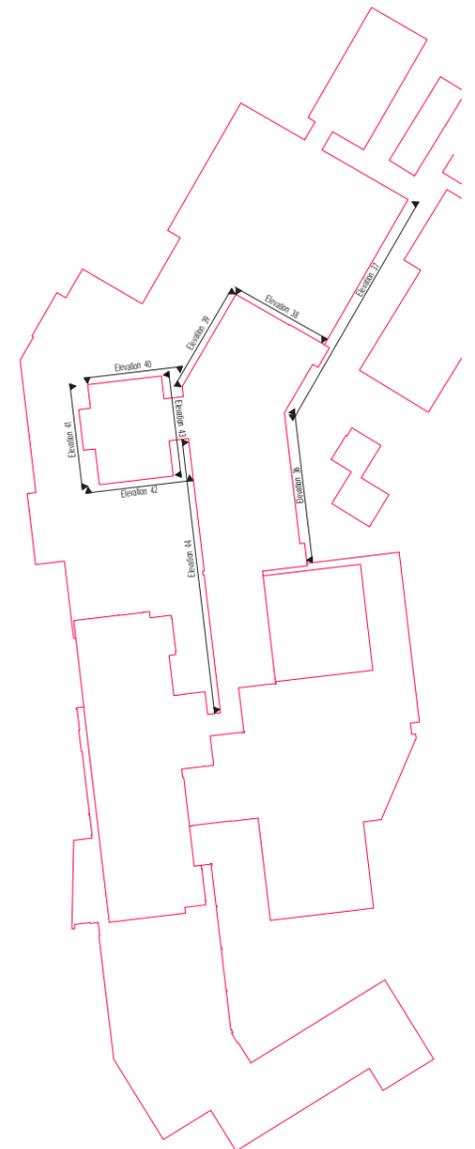


Elevation 44



EXTENT OF REPAIRS	
	Full Facade Replacement
	Replace Lintels and Cills, Replace movement joints & render beads
	Identify and Replace Areas of Bossed Render only
	Render removed, overcladding to cavity walls, replace lintels & cills

Gilbert Bain Hospital 1.m.rsk



1.2 Preferred Stage 1 Option Department Decant - Best Case Scenario

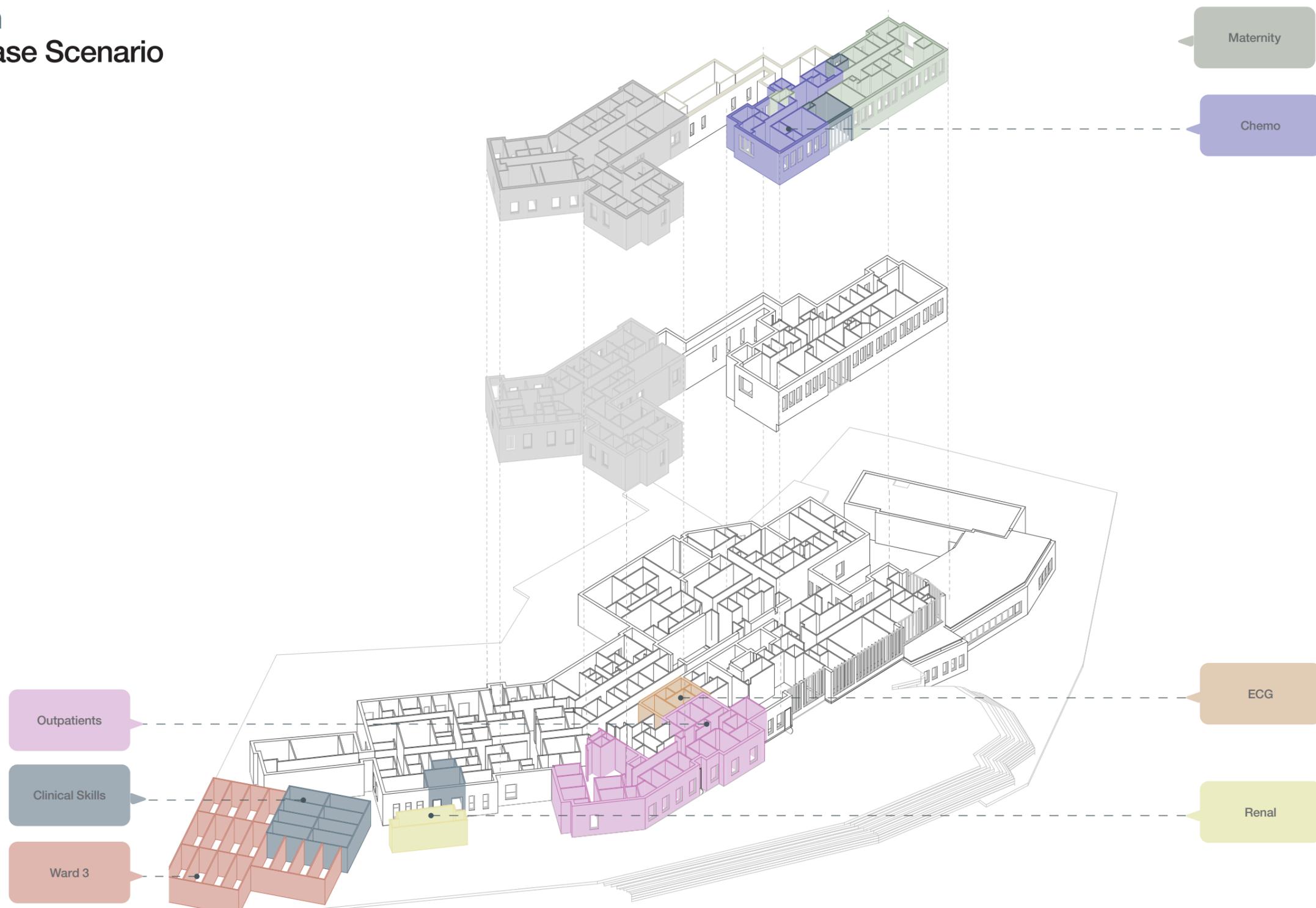
As the Stage 1 brief developed it was agreed the disruption to staff and patients in the parts of the hospital affected by the external repairs would be too great to allow these spaces to continue for clinical use during the repair period.

Following identification of the impacted departments, and various option appraisals for temporary relocation, the client concluded the Best Case Scenario should be developed for RIBA Stage 2 with the following moves:

- Maternity: Relocated within main hospital
- Renal: Mobile Unit in CarPark
- Ward 3: Temporary accommodation
- Clinical Skills: Temporary accommodation
- Junior Doctors Office: Relocated to north side of Ward 3

Chemo, Outpatients and ECG to remain in their existing locations.

In this scenario, we have assumed potential issues with water ingress to the ground floor of the hospital during the recladding works will be designed out (solution developed in conjunction with Design Team and Advising Contractor).

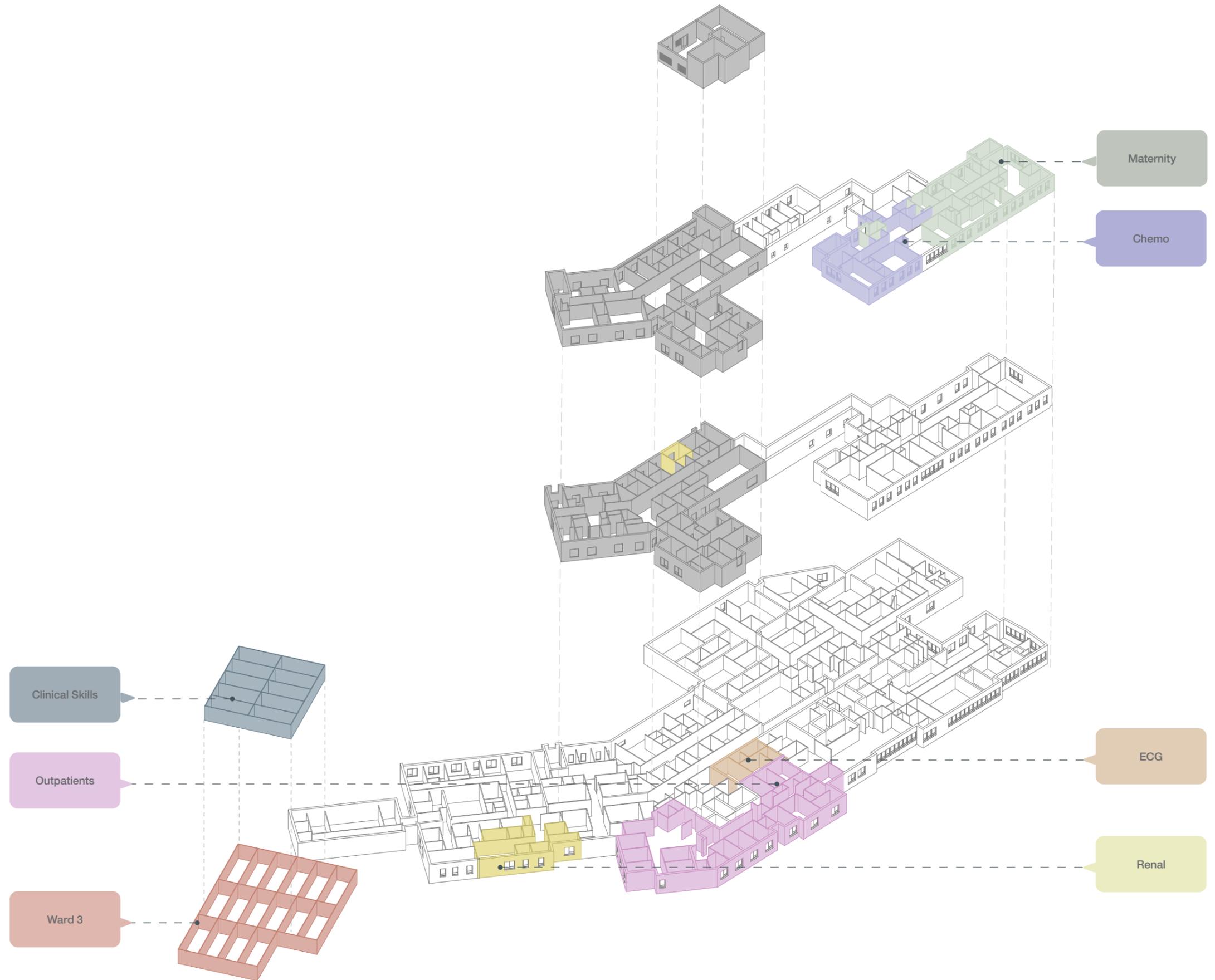


1.2 Stage 2 Department Decant

As part of the Stage 2 development, it became apparent that moving Renal to a mobile unit was proving too costly. Furthermore the space needed for the Ward 3 temporary accommodation would take up all the available ground floor space in the Car Park. Therefore the best case scenario has since been developed to the solution opposite namely:

- Maternity- relocated within Ronas Ward (main hospital)
- Renal- relocated within SDEC (main hospital)
- Ward 3- temporary accommodation (ground floor)
- Clinical Skills- (including meeting room) temporary accommodation (first floor)
- Junior Doctors- relocated within hospital

SDEC and parts of Physio will need further consideration during the early part of RIBA Stage 3.



1.3 Objectives and Key Information

The objective of this report is to provide output to a RIBA Stage 2 - Architectural Concept level. This stage is about layering detail and requirements onto the Project Brief developed during Stage 1. This includes developed spatial layouts and insight into the conceptual appearance of the cladding design.

The content of the report has been developed from continuous information exchanges, workshops and alternate bi-weekly Project / Technical meetings with the wider team.

The following key outputs are provided in this Stage by the Design Team members (in conjunction with NHS Shetland's input) :

Architectural

Developed Strategic Project Brief
Architectural Concepts for Cladding Design
Developed Decant Options with preferred solutions

Structural

Stage 2 drawings for temporary strapping works

M&E Services

Stage 2 Report on Proposed External Cladding Installation Interface with M&E Services

PM / Cost Services

Strategic Project Programme
Risk Register
Stage 2 Initial Cost Plan

Client Team

Client:
NHS Shetland
Key Contacts:
David Wagstaff - Project Director
Paul Nadin - Project Manager
Christina McDavitt - Project Clinical Lead
Michelle Wilkinson - Senior Infection Control Department Representatives:
Amanda McDermott - Chief Nurse (Acute + Specialist)
Janice Irvine - Senior Charge Midwife

Client's Agent

Hub North / Thomson Gray
Key Contacts:
Fraser Innes - Place & Partnership Director
Stuart Findlay - Project Manager
Ross Lovatt - Cost Manager
Phil Walker - Senior Quantity Surveyor

Design Team

Architect
Threesixty Architecture
Key Contacts:
Gillian Allan - Project Director
Giovanni Pesiri - Project Architect
Grace Brown - Architect

Structural Engineer

Mott MacDonald
Key Contacts:
Neil Pearson

Services Engineer

Callidus Design Ltd.
Key Contacts:
Daniel Brady - Project Director
Gary Speirs - Mechanical Engineer
Stewart Brown - Electrical Engineer

Advising Contractor

Robertson Construction Group
Key Contacts:
Graeme Lawrie
John McHardy

Fire Consultant

Buro Happold
Tony O'Donnell

Principal Designer

Thomson Gray
Garry O'Donnell

Programme

Full Project - Refer to Thomson Gray Programme within Appendices for Key Dates
Next Stage - NHS Shetland / Hub North to instruct team to progress to RIBA Stage 3 following review and approval of this Stage 2 Report.

Project Budget

Costing information to be provided by Thomson Gray as agreed with NHS Shetland / Hub North

Project Reporting

Reporting to follow RIBA Plan of Work Stages for both the Recladding and Decant works, supported by end of stage Cost Plans.

Stakeholder Engagement

Stakeholder Engagement has taken place at RIBA stages 1 & 2. Approval gateways to occur at end of Stage 1 and Stage 2. Stages 3 and 4 will be progressed as one scope of service from the Design Team.

Procurement Route

The project's procurement is likely to be split with a local contractor undertaking the enabling works for the Decant proposals, The Principal Contractor, through the engagement of a specialist cladding contractor, will undertake the contractor design and installation of the recladding and elevational repairs, whilst NHS Shetland will procure the temporary accommodation via the Scottish Government and NHS Scotland supply chain partners. The forms of contract to be confirmed.

Procedures

CAD
Threesixty to use CAD to deliver the Project. We will issue our information in PDF/CAD to the consultant team as required.

Statutory Applications

There will be a requirement for Planning and Building Warrant Approval

It is envisaged a Planning Application for the recladding works will be submitted first, with an additional separate application to follow for the Modular Accommodation and Link Corridor being located within the car park. The timing of this 2nd application is dependant on the procurement of a Modular Supplier.

In terms of Building Warrant submissions, these will be split out as follows:

1. A warrant application for the Recladding works only
2. A warrant application for the internal refurbishment works within the main building
3. A staged limited life warrant application for the temporary accommodation (for buildings with a life of less than 5 years). Stage 1. Substructure and underground drainage for the modular accommodation and link corridor, 2. The link corridor superstructure, 3. The temporary modular decant accommodation superstructure.

The programme has been developed to reflect these applications.

SHTM/SHBN Compliance

The existing Gilbert Bain Hospital does not comply with many of the current NHS Technical Standards and guidelines and long term, there is an identified requirement to replace the building with a fully compliant new facility. As such, for the purposes of this report, any temporary spaces will equal or better the space standards currently provided in the Hospital. Any derogations to the HTM Guidelines will require to be agreed by NHS Assure

Environmental Targets & Accreditations

Due to the age of the existing building, the temporary nature of the decant, and the long-term aspiration for a new Hospital, no specific environmental targets have been set for this project.

1.3 Objectives and Key Information Project Management

Programme

Thomson Gray Project Manager has, in conjunction with the Client and Design Teams, prepared a Project Programme to identify detailed Pre-Construction tasks as well as general allowances for the construction period of the works. GBH Cladding, Master Programme, 22-05-2025, Rev 7 is located within the appendices of this report for reference.

Project Risk Register

Thomson Gray Project Manager has, in conjunction with the Client and Design Team, prepared a Project Risk Register which identifies risks which may impact the Project. Several meetings have taken place to inform the register namely:

- Risk Register Workshop- 27-02-2025
- NHS Programme Board and Risk Management Group- 12-03-2025
- PEP and Risk Register Meeting- 14-03-2025
- Risk Register Workshop- 08-05-2025

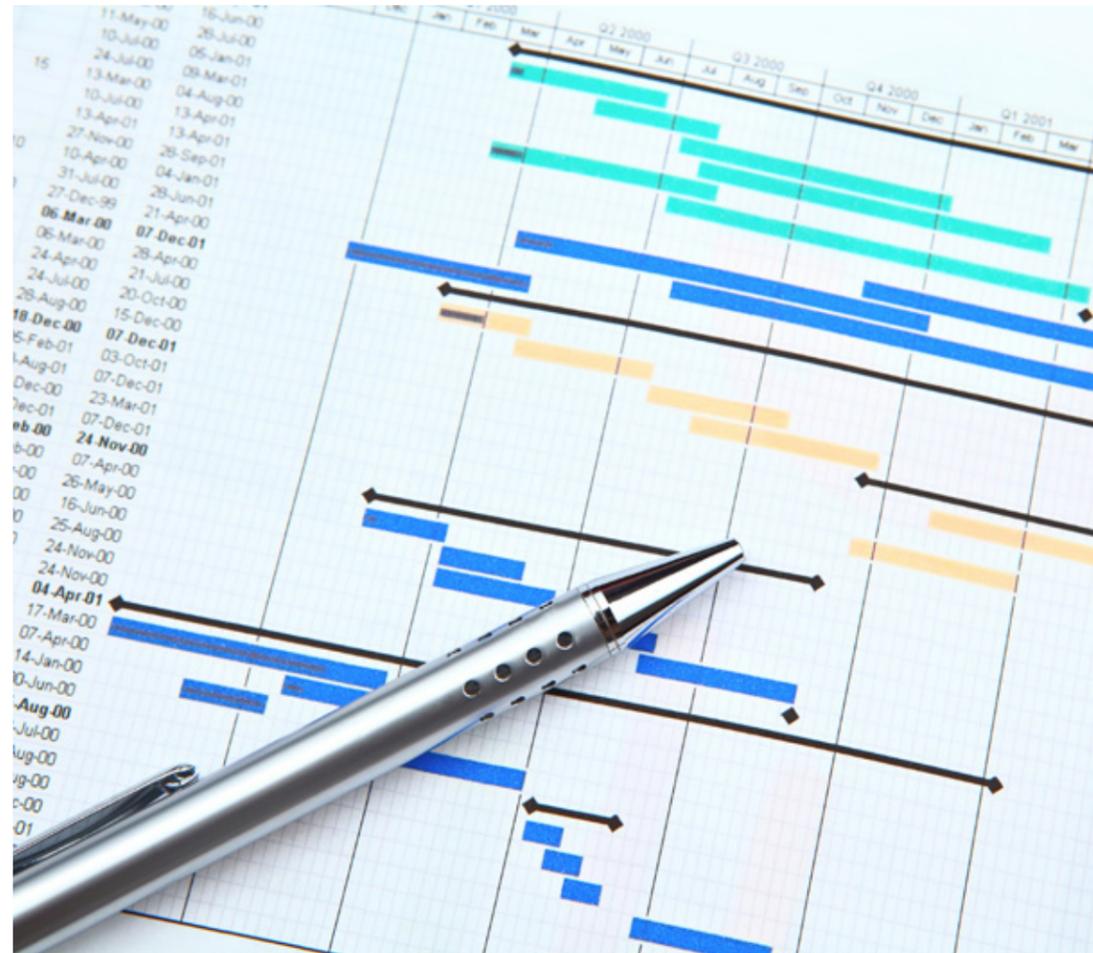
From these meetings, wherever possible, mitigations have been noted and 'GBH Cladding Risk Register 08.05.25 Rev 3' is located within the appendices of this report for reference. This register is a live document which will continue to be reviewed and updated as the Project progresses.

Several other meetings have been arranged out with the weekly meetings as follows:

- Gilbert Bain Structures/Services Meeting (Attendees: NHSS, Thomson Gray, Mott MacDonald, Callidus) - 01-05-2025
- Cladding Meeting- (Attendees: Thomson Gray, 360, Robertsons) - 02-05-2025
- Programme Meeting- (Attendees: Thomson Gray, 360) 06-05-2025
- Windpost/Fire Meeting(Attendees: NHSS, Thomson Gray, Mott MacDonald, Buro Happold) - 07-05-2025
- Structural Coordination with Cladding (Attendees: Thomson Gray, 360, Mott MacDonald, Robertsons) - 09-05-2025
- Programme Meeting (Attendees: Thomson Gray, 360) - 13-05-2025

Cost Plan

A revised cost plan is to be prepared by Thomson Gray following confirmation of a number of elements of the project that have yet to be concluded. The main item requiring confirmation is the temporary modular accommodation for the decant of Ward 3. A procurement exercise is being carried out by NSS with the outcome expected around August. The recent addition of a number of tasks, including the NSS procurement, to the programme will increase the duration of the design period and it is expected that consultants costs may reflect this programme increase. An additional phase of works to secure the external walls of the four-storey tower has been introduced and costs for this will be developed once a number of factors, including buildability have been reviewed. Ongoing review of internal decant areas is ongoing with clinical teams and final confirmation is awaited for the layouts of maternity and renal.





2

**Existing
Site
Information**

2.1 Site Context

Site Address

Gilbert Bain Hospital
 South Road
 Lerwick
 ZE1 0TB
 Shetland

Site Ownership

The site is wholly owned by the Client, NHS Shetland. The site plan opposite highlights the red line boundary to the site.

The hospital is surrounded by residential dwellings to the west, north west and north east. Cairnfield Rd runs along the south boundary and provides the main access to the site for staff, patients and emergency vehicles.

The main service access to the site is off Gilbertson Road to the North East. South Road runs along the south western boundary of the site with a variety of commercial properties opposite including Lerwick Health Centre (also owned by NHS Shetland).

Site Boundaries

NHS Shetland have provided a legal title plan which identifies the ownership boundaries. There are no known legal entitlements or rights of access across the site that we have been made aware of.

There are HV cables and district heating pipework running below the carpark in the far western part of the site.

Site Access

The main vehicular access to the site is from Cairnfield Road, off South Road. There are 2 access points to the site, with both accessible to Staff and patients, Emergency vehicles use the furthest west access point on Cairnfield Road for A&E Traffic and a one way system operates with site exit closer to the South Road end of Cairnfield Road.

The entrance / exit off Gilbertson Road provides access for staff and patients with a service road running along the rear of the hospital which serves the pharmacy and deliveries courtyard as well as the laundry and plant outbuildings.

Site Surveys

A site wide topographical survey was recently carried out (May 2024) and we are in receipt of this drawing in CAD and PDF format.

There are several below ground services drawings available and depending on the extent of land required for decant accommodation, further below ground investigations may be required.

Furthermore a digital survey of the hospital elevations was carried out by others and CAD drawings were provided in May 2024.

A recent site investigation has been undertaken with a number of trial pits dug to ascertain ground conditions within the car park. This uncovered poor ground conditions (sand and rubble) overlaying rock. Rock was encountered around existing ground level (EGL) at the north of the site and at approx. 1.2m below EGL at the south of the site. Due to the difference in level between the north and the south areas of the car park, it is expected that floor level of the temporary ward may be around 1.5m above the EGL at the south end, whilst the north end is, generally, at the existing level. Consideration is to be given to using concrete foundations on top of the existing car park surfacing. This may negate the need to provide foundations that would be in the region of 2.7m from rock to the underside of the accommodation. This will be developed further during RIBA Stages 3 &4.

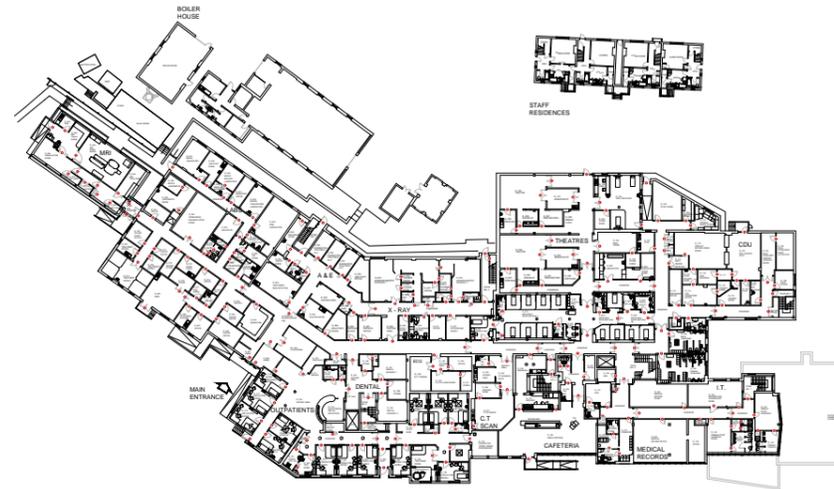
The existing Asbestos Risk register suggests there may be asbestos present in some affected areas. Local asbestos surveyor, H James Nisbet has been commissioned to carry out an updated asbestos survey on and results should be available prior to the commencement of RIBA Stage 4.

For this stage we have worked from CAD OS information, digital elevations provided by Malcolm Hughes Chartered land surveyors and updated record plans prepared by Threesixty Architecture to consolidate all recent alterations.



2.2 Existing Building Information Plans

The new Gilbert Bain Hospital was first opened in 1961 comprising the furthest east four storey admin block, the Theatres, with wards 1 and Ronas ward above. The Phase 1 extension was built in 1989 comprising a 4 storey block containing key departments including A&E, Xray, Dental, and the main access corridor at ground floor, with wards located on the first and second floors above, with plant rooms on the top floor all connected to the original building via a two-storey link corridor. In 2001, a ground floor extension was built to wrap around the original Phase 1 building and this accommodates the current Outpatients Department. Most recently in 2023, a single storey extension containing a new MRI Facility was installed at the far western end of the clinics' corridor.



Ground Floor Plan



Second Floor Plan



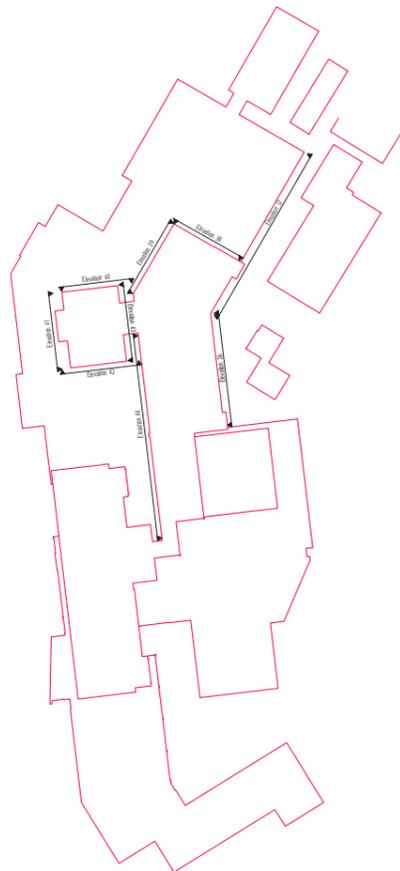
First Floor Plan



Third Floor Plan

2.2 Existing Building Information Elevations

Given the way in which the Hospital Campus has developed over the last 65 years, there are 48 elevations forming the entire envelope of the building. Intermittent water ingress around the southern facing elevations of the hospital has been investigated to varying degrees, and despite numerous repairs over the years, including a remedial parapet flashing being installed with successful results at some of the elevations, the continued focus has been on elevations 38 to 44. The focus of this Stage 2 report is therefore on those identified elevations and we have extracted them from a recent digital survey displayed opposite.



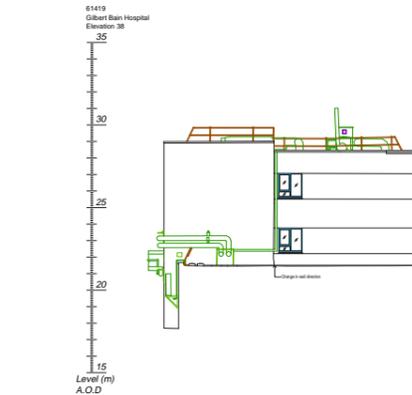
Elevation 36



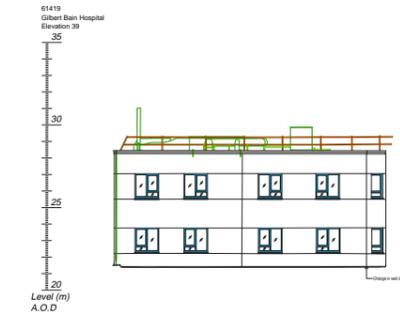
Elevation 37



Elevation 38



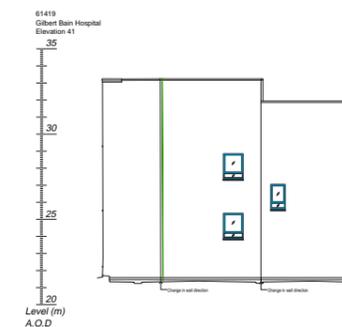
Elevation 39



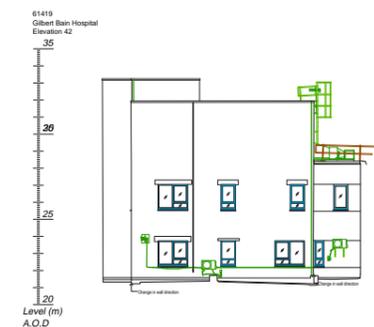
Elevation 40



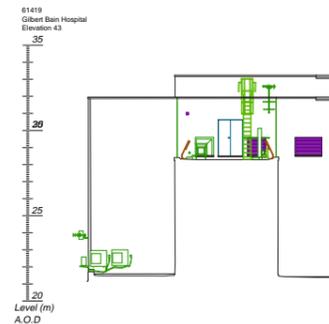
Elevation 41



Elevation 42



Elevation 43



Elevation 44



2.3 Site Constraints

Site Location

The hospital site is very constrained with low rise housing backing onto the rear boundaries. Various services outbuildings pepper the rear service access road with pedestrian escape routes threading through these areas. The site falls away from west to east, dropping a storey in height across the site, with split level parking to all available land wrapping around the main building. Blue light vehicular access is required to be maintained at all times at the front of the hospital.

Decant Location

Buildable zone A has been identified as the most suitable decant zone for the modular accommodation. Located directly in front of the recent MRI extension it has potential to link into the main building via the MRI link corridor.

Contractor Compound

Site B, previously used for the mobile theatre unit, has been identified as suitable for the main contractor compound during the works. This will necessitate the temporary closure of the upper level of parking (and route), directly in front of the canteen.

Site C has been identified as available for the lay down of materials and as a lifting position to enable the contractor to hoist materials for the recladding onto the first floor roof and scaffolded elevations. The existing accessible parking will be relocated opposite and shown Option B opposite is the preferred option.

Site Entrances

As noted previously there are 2 existing access points to the site, and 1 exit only point. The one way vehicular access and route around the upper car park will be maintained throughout.

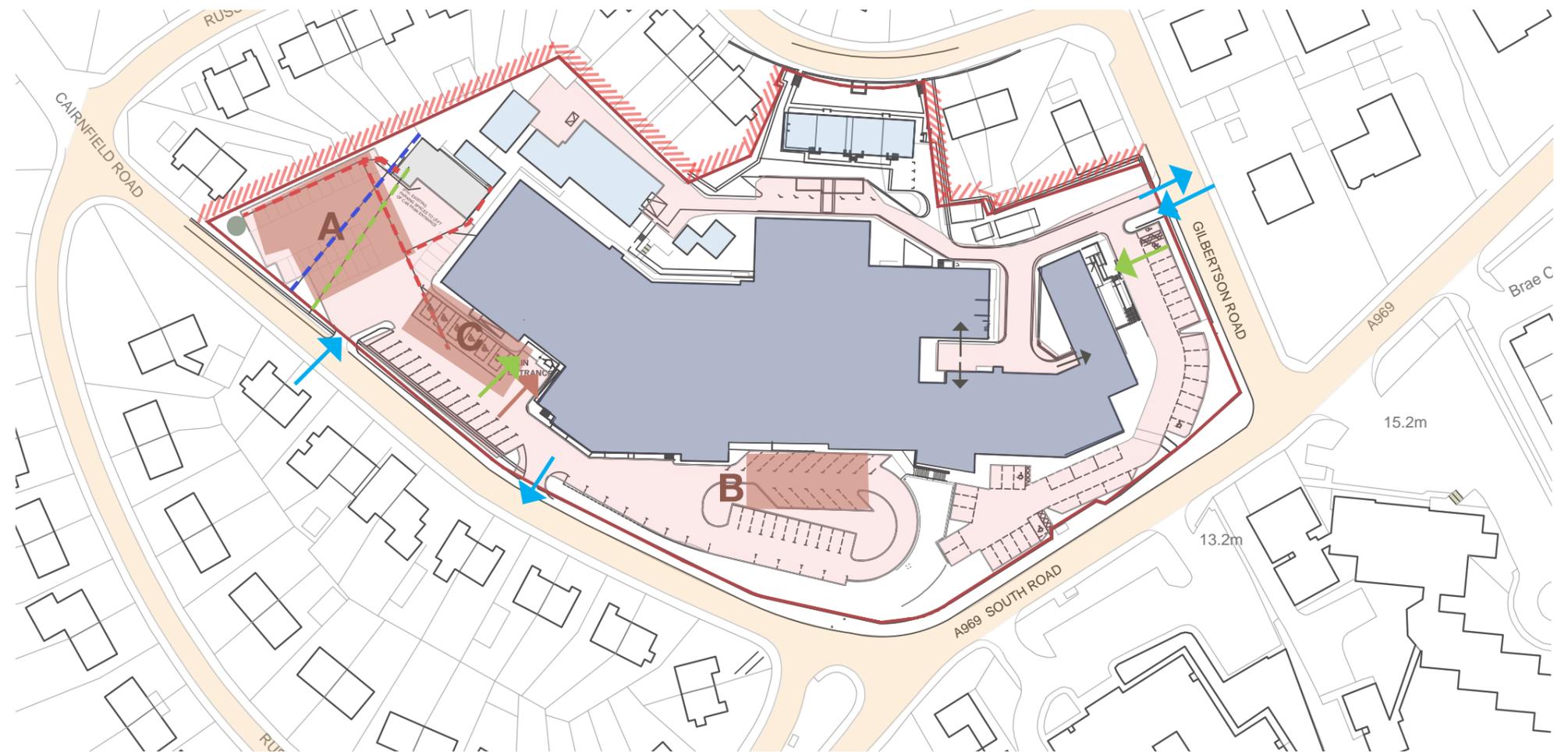
All 3 points must remain available throughout the duration of the works with emergency vehicles able to drop off / pick up at the main entrance.

Parking

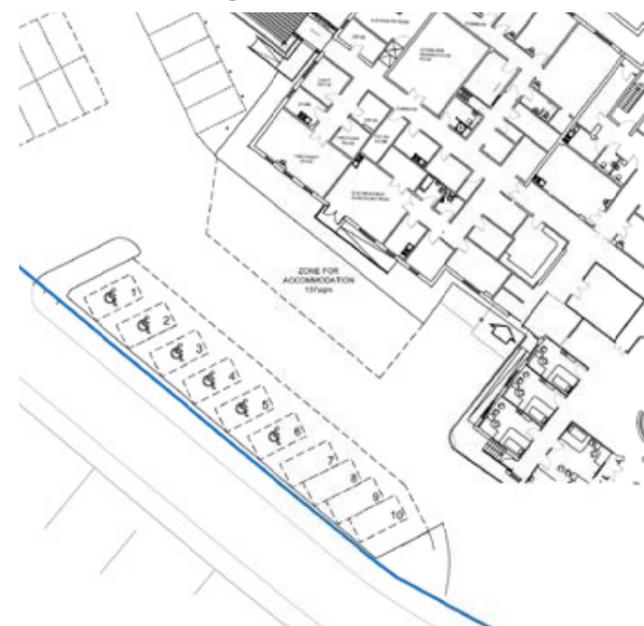
Visitor / Staff parking is very limited on the site and will be reduced further during the works for the contractor compound and decant accommodation. No additional parking can be provided on site.

Existing Services

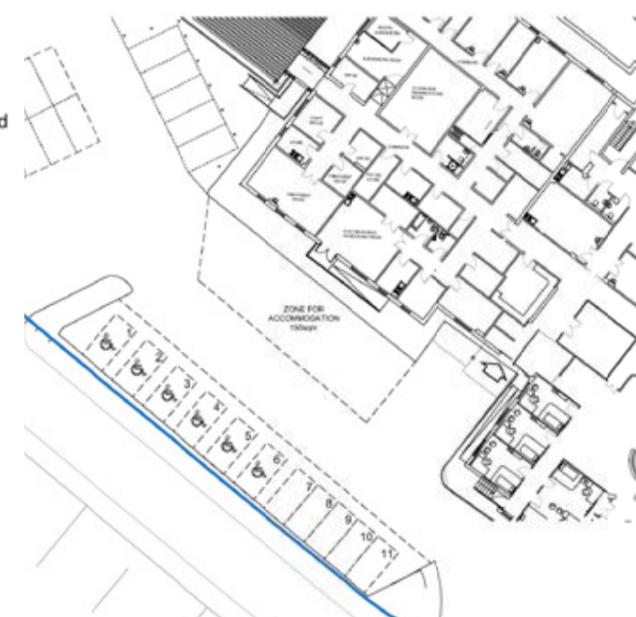
The land identified as buildable zone A is known to have various underground services from the rear outbuildings to the sub station and beyond to Cairnfield Road. This includes underground HV cables and District Heating pipework. The locations of these will need clarified prior to the development of substructure design for the modular accommodation.



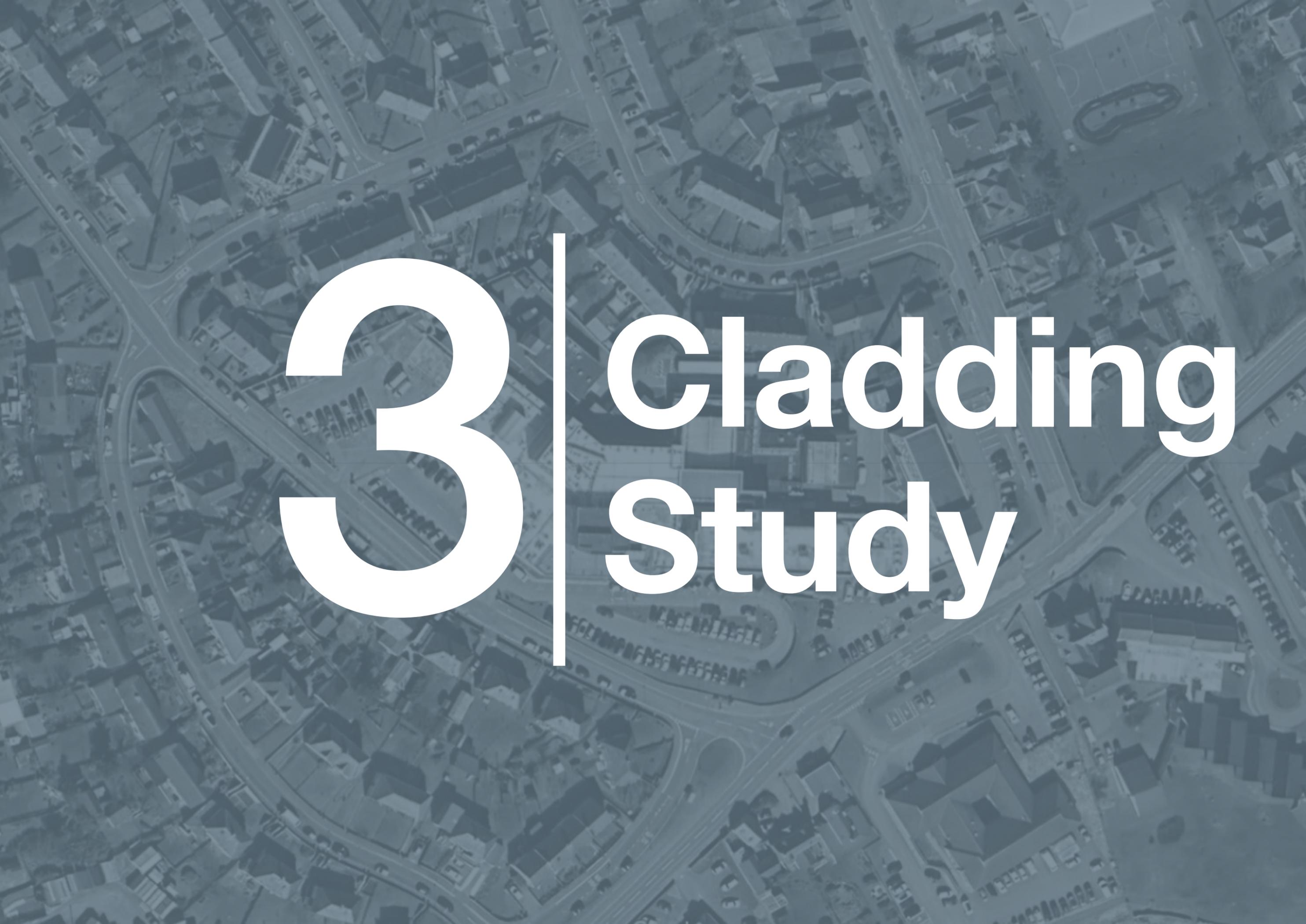
Accessible Parking Relocation



OPTION A
Adapt existing chevron parking
6no. Accessible Spaces
4no. Standard Spaces
137sqm area for temporary compound



OPTION B
Create perpendicular parking
6no. Accessible Spaces
5no. Standard Spaces
150sqm area for temporary compound



3 | Cladding Study

3.1 Extent Of Works

In Mott MacDonald's condition report Elevations 40-44 have been identified as suffering outward displacement, with significant cracking at the wall head which has raised concerns over the stability of the blockwork. Wall ties are loose at points and the tested mortar mix is weak and friable over most of the 4 storey outer leaf walls above ground floor. As such, to eliminate the risk of progressive displacement and instability, the outer leaf of blockwork to Elevations 40-44 must be dismantled and replaced with a lightweight insulated cladding system.

Elevations 36 and 37 require some areas of bossed render to be identified and replaced.

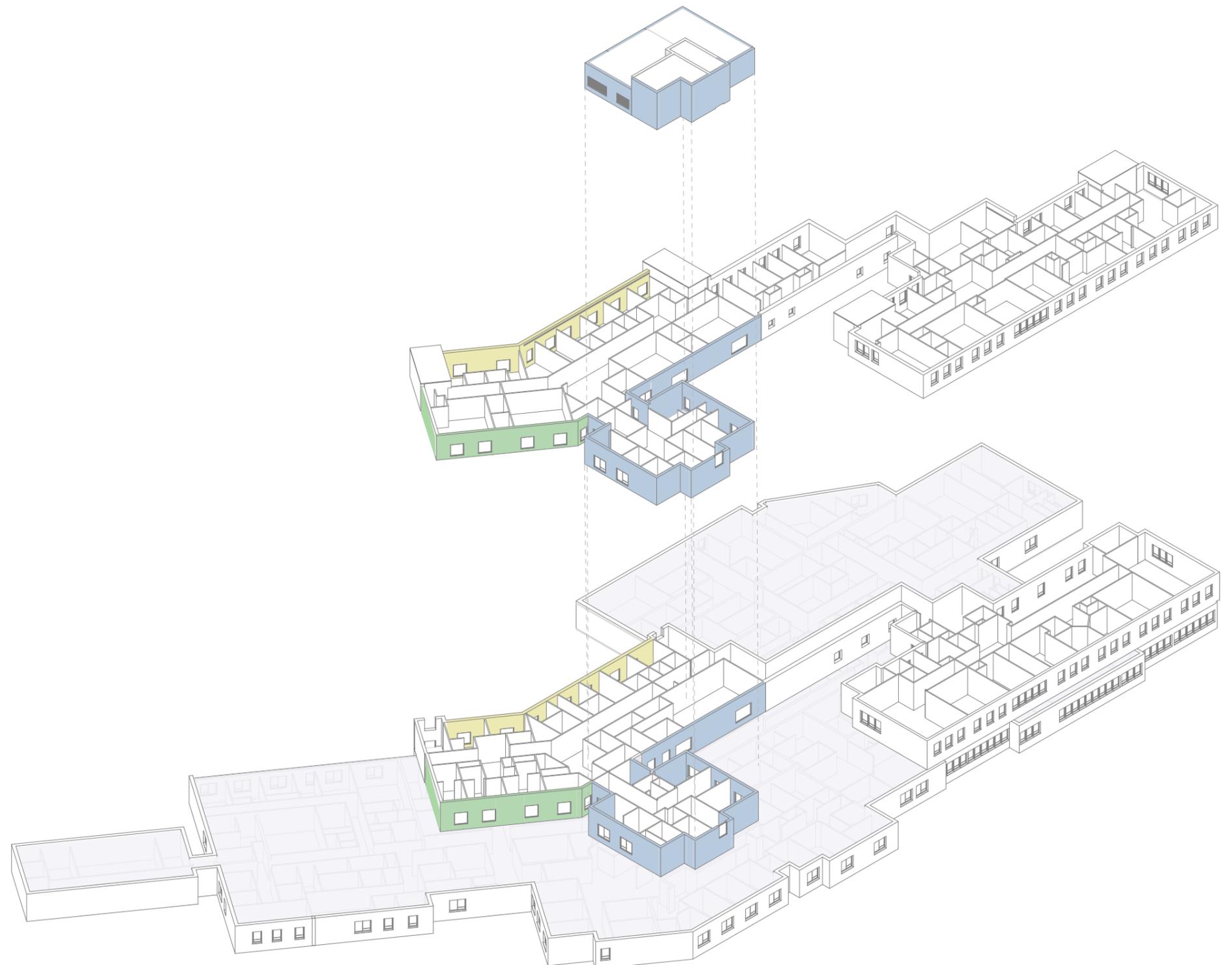
Elevations 38 and 39 require all existing render to be removed from the outer leaf of blockwork, and a new rainscreen cladding system is to be installed, spanning between reinforced columns with replacement of cills and lintels throughout.

Elevations 40 to 44 require the complete dismantling of the outer leaf of the cavity walls and removal of existing windows. Replacement cladding spanning between the reinforced concrete columns with new insulation is to be installed together with new windows throughout.

The total area of coverage required is 638.92sqm

EXTENT OF REPAIRS	
	Full Facade Replacement
	Replace Lintels and Cills, Replace movement joints & render beads
	Identify and Replace Areas of Bossed Render only
	Render removed, overcladding to cavity walls, replace lintels & cills

Gilbert Bain Hospital, Lerwick

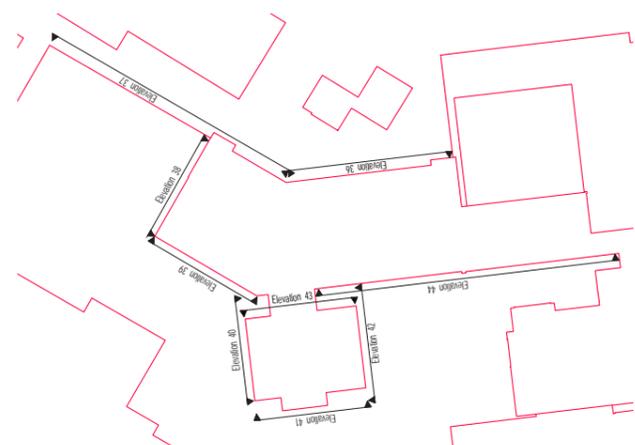


3.2 Temporary Works External Strapping

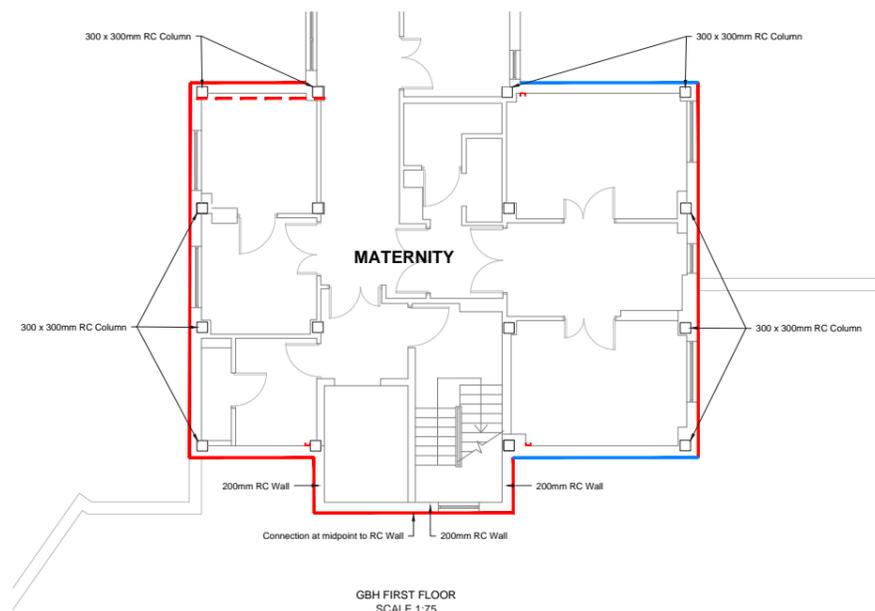
Due to the elongated programme to replace the defective outer leaf of elevations Mott Macdonald have advised that steelwork will have to be put in place to restrain the outer leaf of blockwork and avoid a situation where the buildings have to be suddenly evacuated if movement is detected prior to the remedial works being undertaken. Two sizes of steel sections will be specified. The existing scaffold may restrict the installation of some of the sections, the heaviest of which may be around 200kg. Some internal steelwork will need to be installed to take steel strapping fixings, where the concrete frame cannot be accessed from the external areas of the building and some making good of these areas will be required.

The installation of the steelwork will cause noise and vibration throughout the adjacent areas and work will need to be coordinated with the clinical staff on an ongoing basis to mitigate the impact on clinical services.

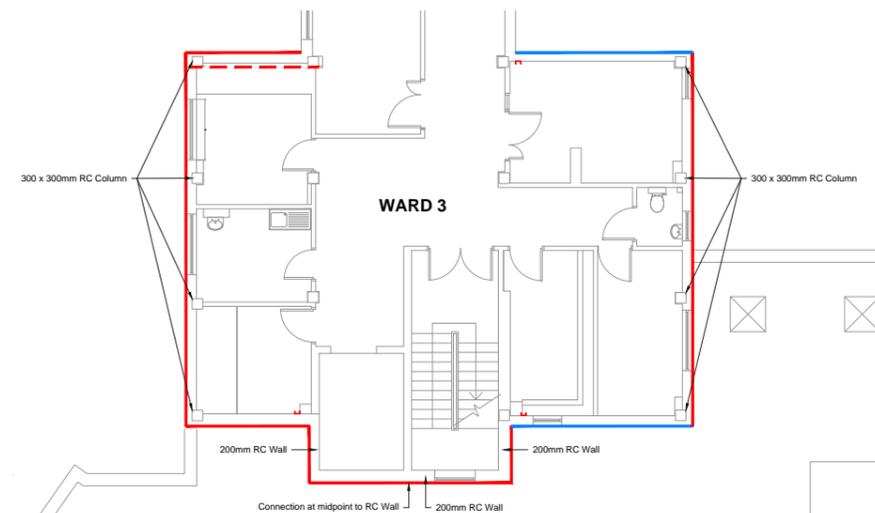
The following diagrams show Mott Macdonalds RIBA Stage 2 drawings highlighting the areas of steelwork required to restrain the blockwork. Full drawings appended to this report.



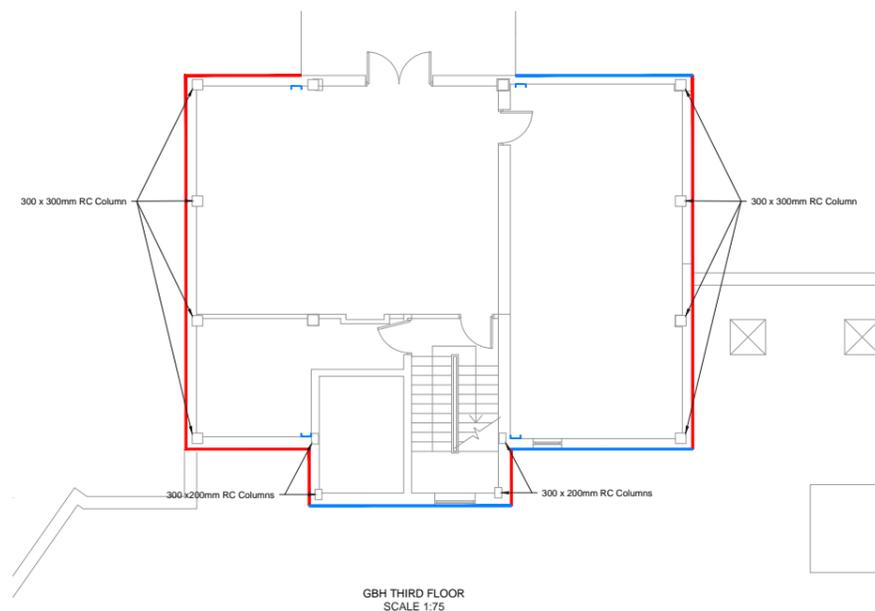
- 150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
- 300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
- - - Internal 150 x 75 x 18 PFC (S275) (Isolated Members)
- ⌊ Internal 150 x 75 x 18 PFC (S275) (Isolated Members)



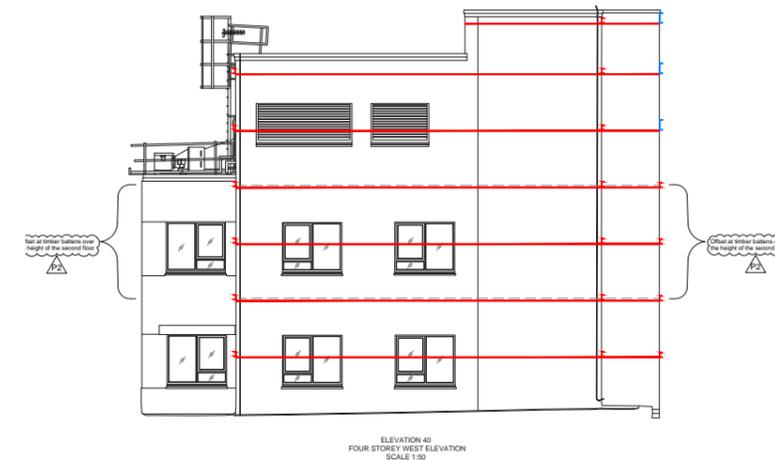
GBH FIRST FLOOR
SCALE 1:75



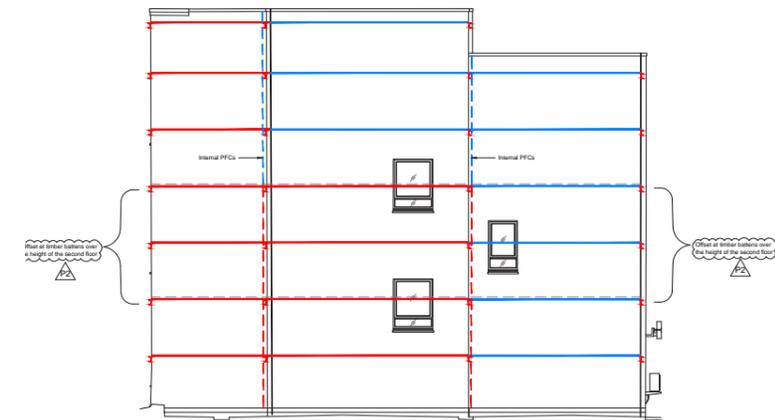
GBH SECOND FLOOR
SCALE 1:75



GBH THIRD FLOOR
SCALE 1:75



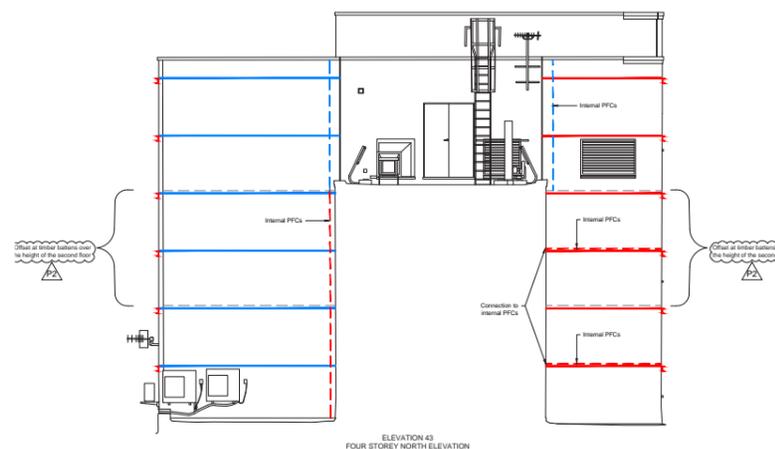
ELEVATION 40
FOUR STOREY WEST ELEVATION
SCALE 1:50



ELEVATION 41
FOUR STOREY SOUTH ELEVATION
SCALE 1:50



ELEVATION 42
FOUR STOREY EAST ELEVATION
SCALE 1:50

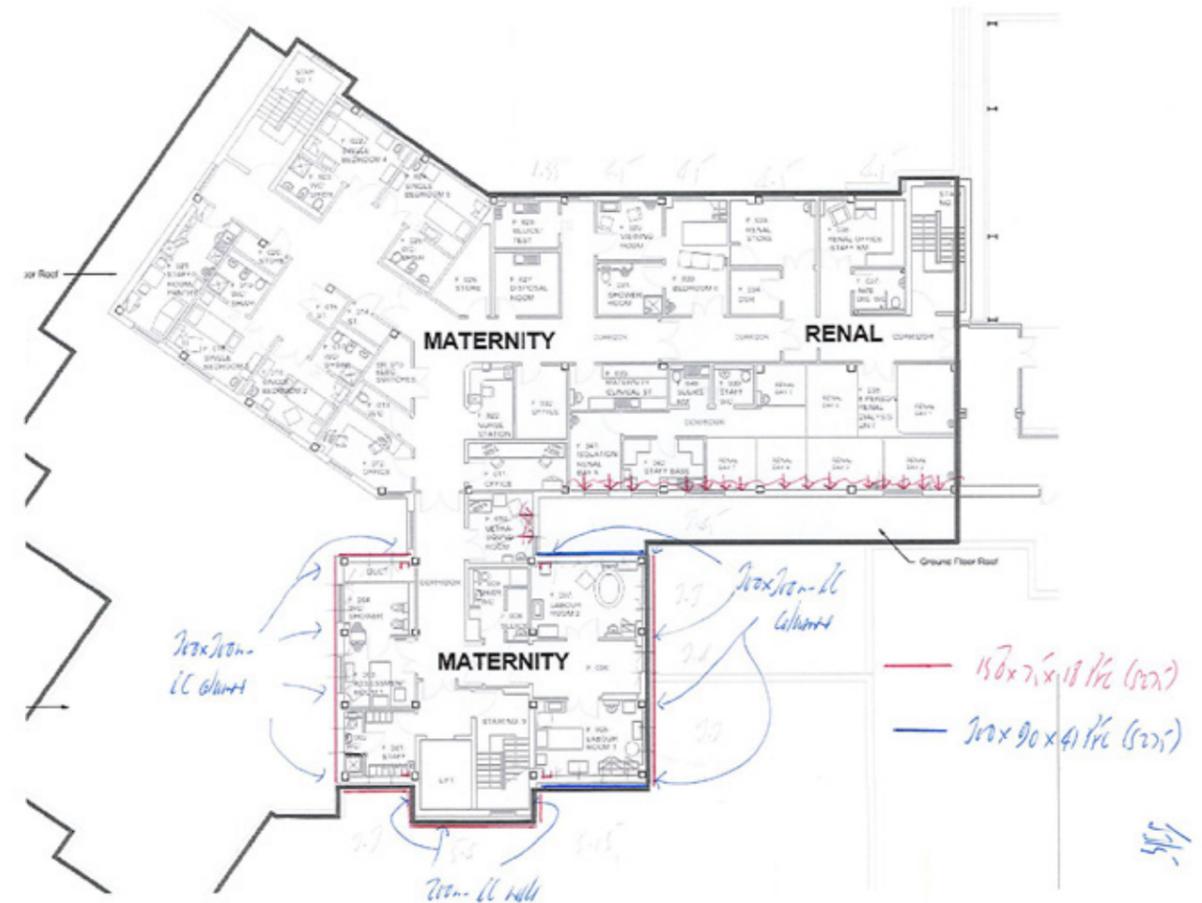
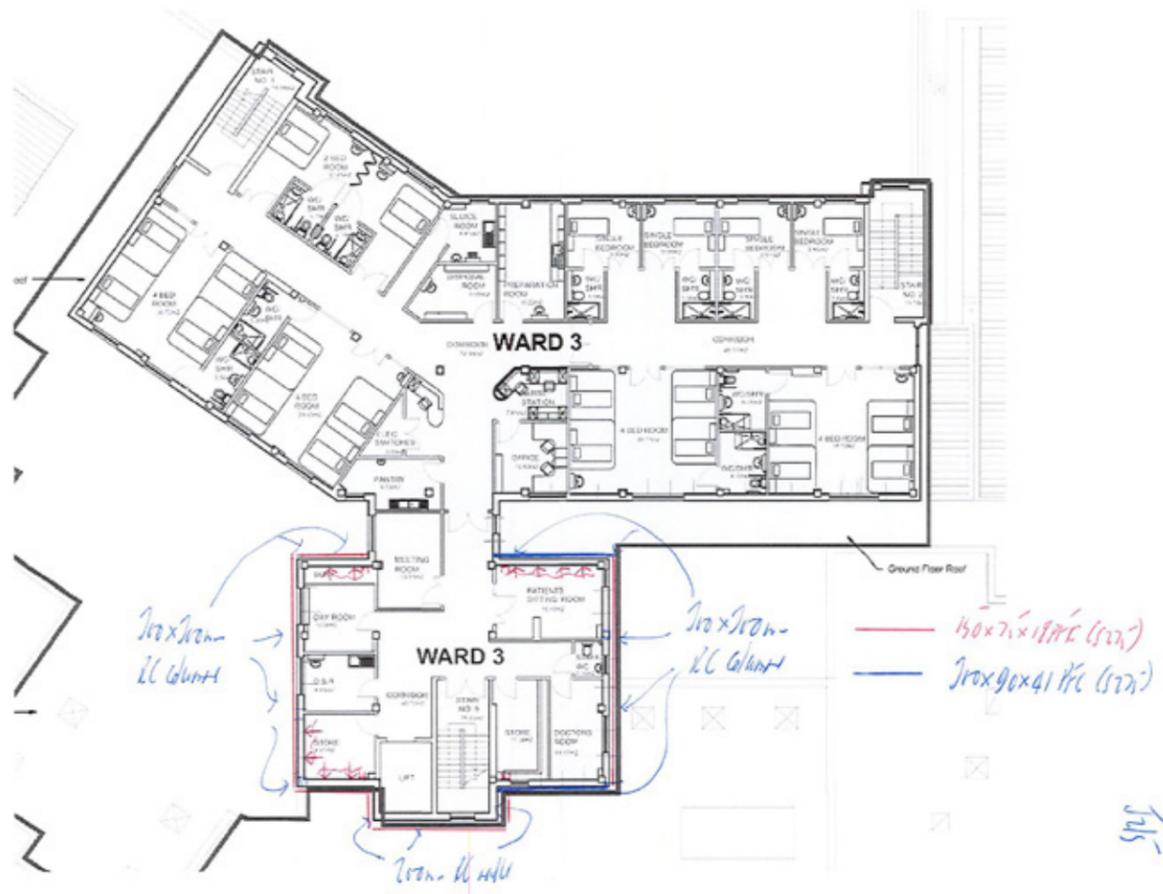
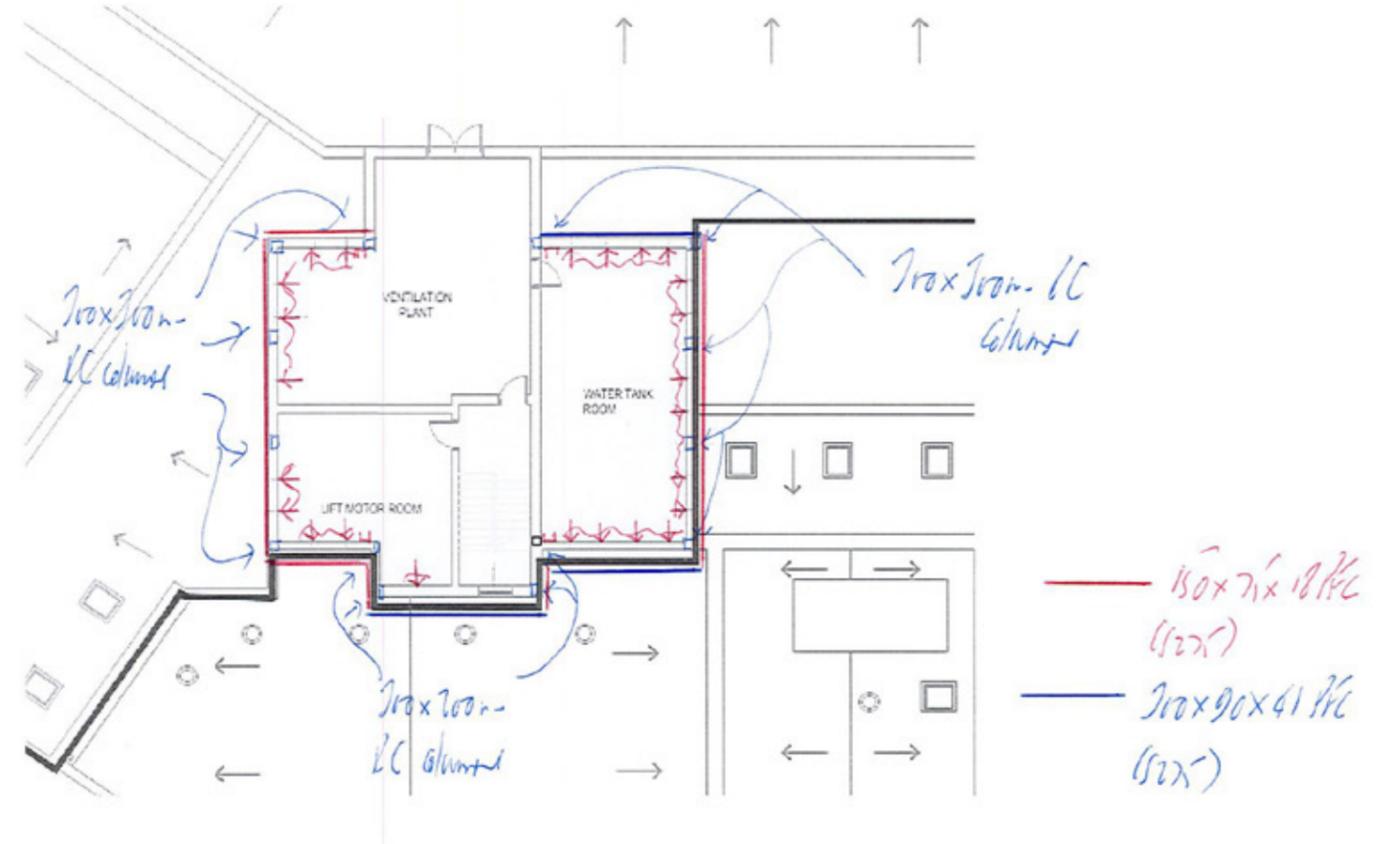


ELEVATION 43
FOUR STOREY NORTH ELEVATION
SCALE 1:50

3.2 Temporary Works Internal Windpost Shoring

Mott Macdonald have identified that the stability of the inner leaf of elevations 40 to 43 will be compromised when the outer leafs are taken down for the replacement works. As such, internal windpost shoring to the internal leaf will be required to be installed prior to any dountakings. Mott Macdonald are currently developing the design of these elements.

The sketches opposite show the design intent and extent of the shoring interventions. The impact on existing services in these areas will be significant and Callidus design have identified this in their separate Stage 2 report.



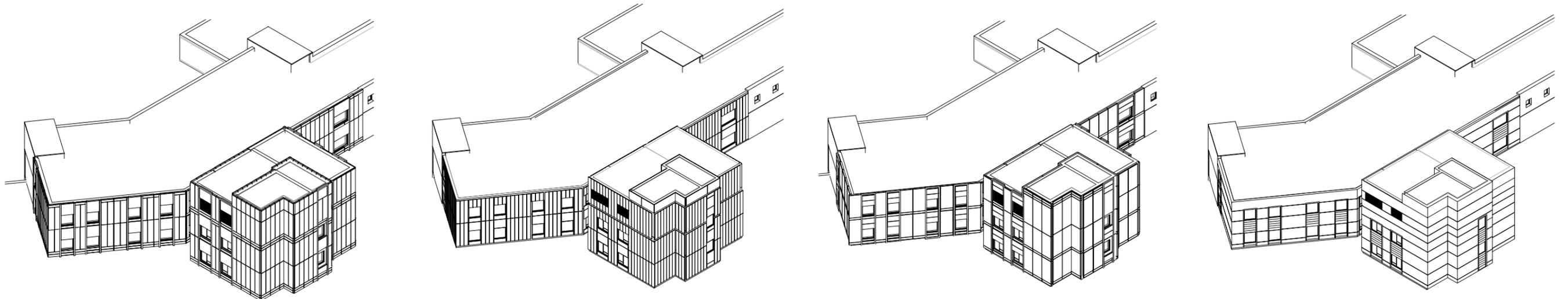
3.3 Cladding Panel Arrangement Proposed Options

Creating a cohesive solution for the cladding posed challenging when dealing with the following existing building conditions:

- A mix of M+E louvres
- Irregular window positions
- Irregular structural grid

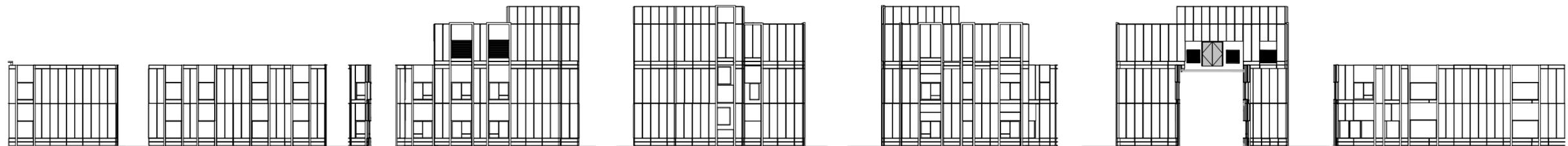
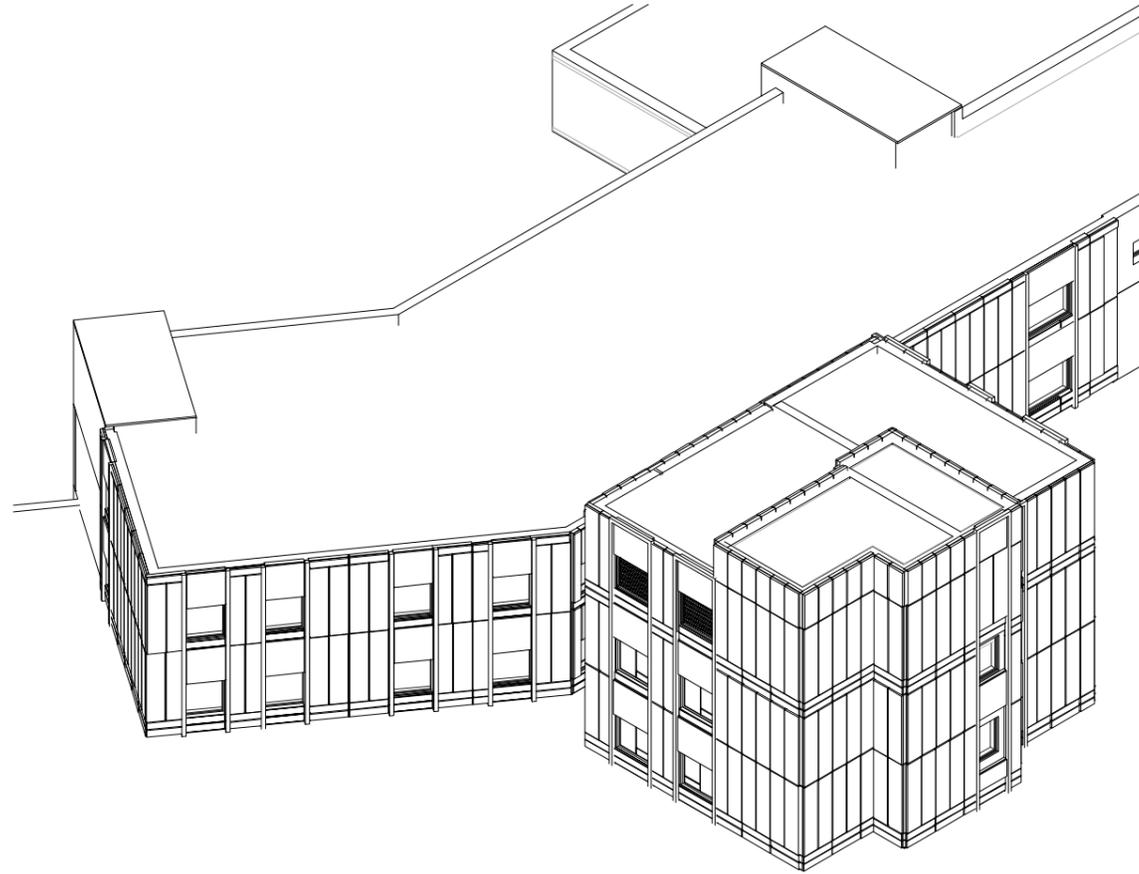
We have designed a number of proposed options that include:

- Option 1 - Vertical / Horizontal mix
- Option 2 - Narrow Vertical
- Option 3 - Wide Vertical
- Option 4 - Horizontal



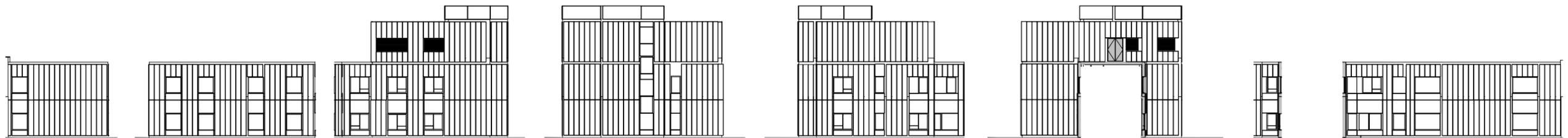
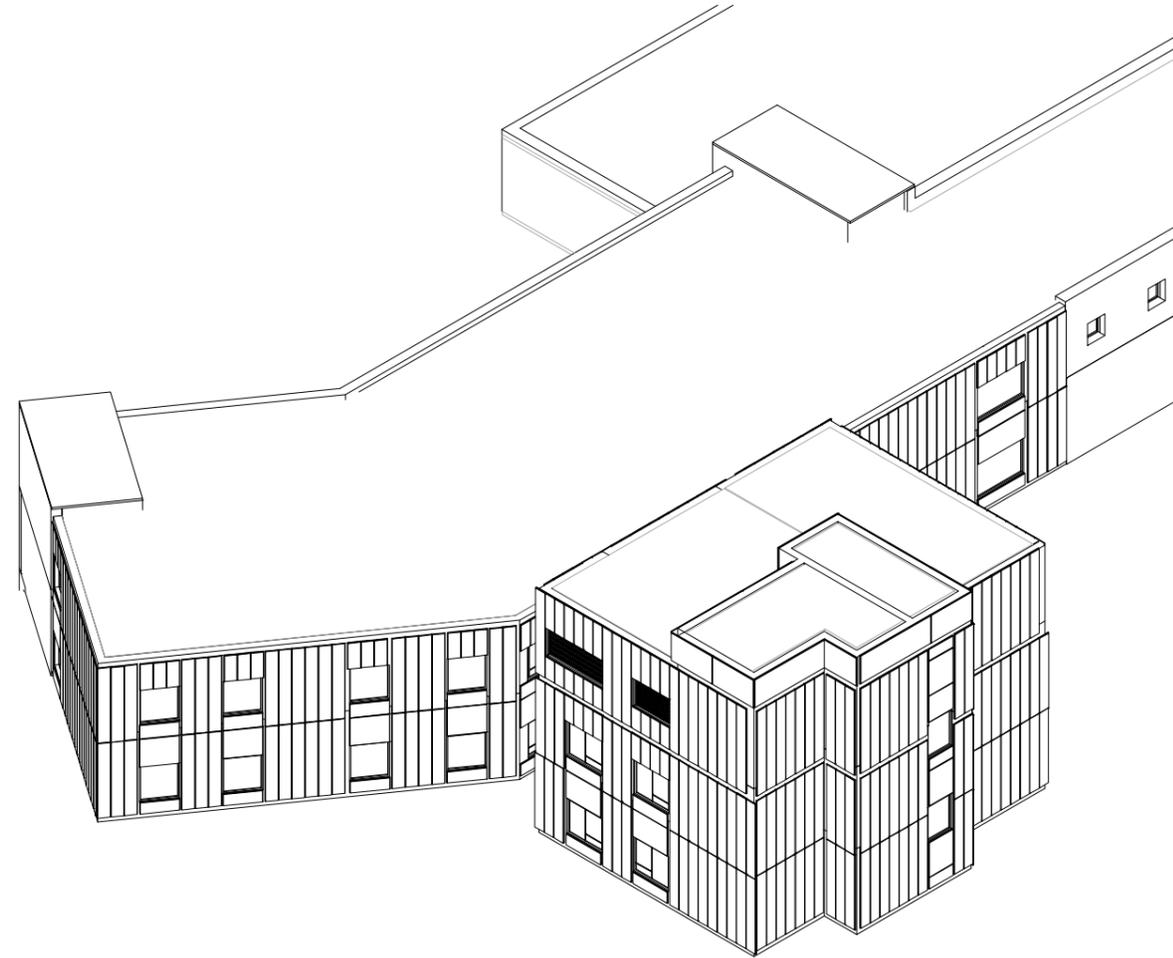
3.3 Cladding Panel Arrangement Option 1

Option 1 utilises a slim panel arrangement and introduces a vertical banding effect across the window zones to create an overall architectural rhythm on the facade. Option 1 does present its challenges with awkward arrangements around some window locations. We look to address this within Option 2.



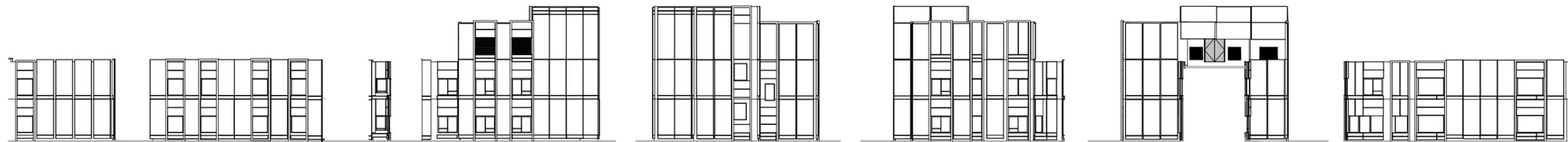
3.3 Cladding Panel Arrangement Option 2 (preferred option)

Option 2 is our preferred cladding panel arrangement, as it offers the most elegant and refined design solution. This configuration, similarly to Option 1, creates a vertical banding effect across the window zones. Additionally, it carefully balances visual interest by ensuring that the louvres are integrated discreetly within the elevations avoiding their emphasis whilst maintaining a cohesive appearance. This option creates the least amount of panel variations ensuring not only a visual harmony but a practicality to manufacturing.



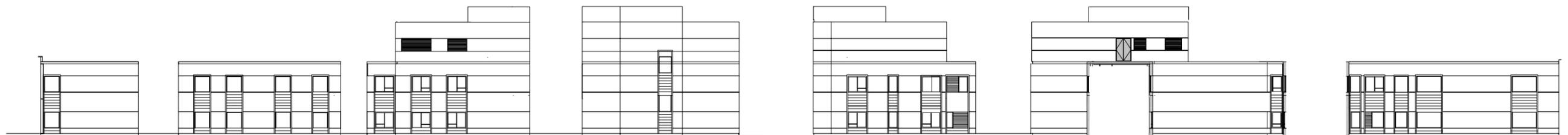
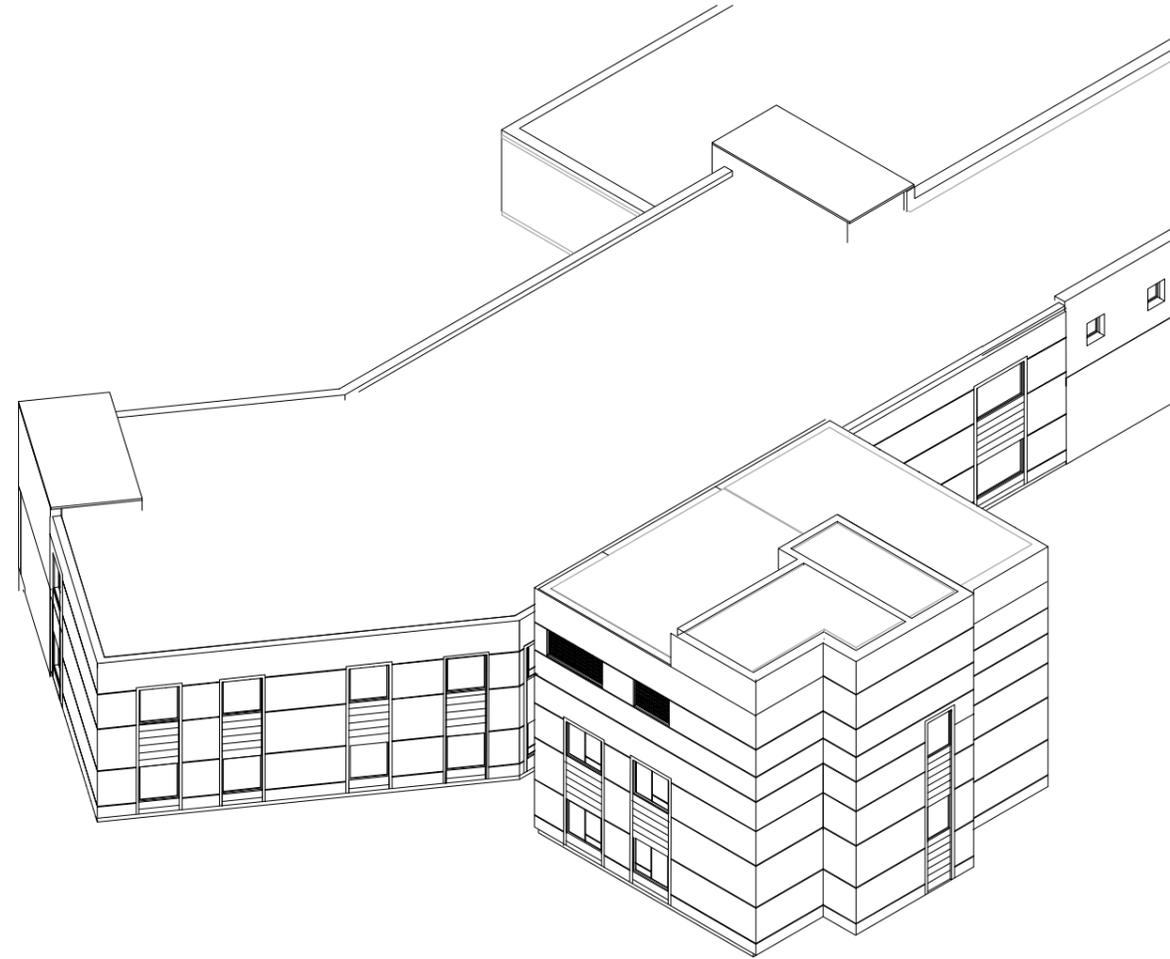
3.3 Cladding Panel Arrangement Option 3

Option 3 looks to create a wider panel sizing. This option is less flexible in accommodating irregularities in the existing structure, such as varying window placements and complex geometries. Additionally, it emphasises the monolithic appearance of the tower element which may appear out of scale with the rest of the massing. The handling of larger panel sizes may also prove more challenging during the installation process.



3.3 Cladding Panel Arrangement Option 4

Option 4 utilises a horizontal panel arrangement with a horizontal banding effect across the window zones. This option is less elegant and more monolithic, presenting a layout with unequal horizontal banding due to the existing irregular spacing between windows and louvres. This creates an awkward visual rhythm to the cladding and overall less cohesive design when compared to the vertical options.

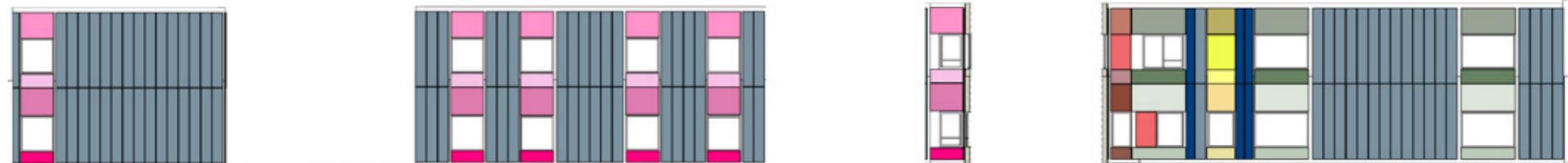


3.4 Panel Modules Option 2 (preferred option)

The cladding design has been carefully developed to accommodate a range of panel types, tailored to respond to the specific conditions of the existing facade and help rationalise the overall appearance of the facade. These panels vary in size to address the challenges posed by the current arrangement of windows, openings, and overall building proportions. This will be further developed during RIBA Stage 3.

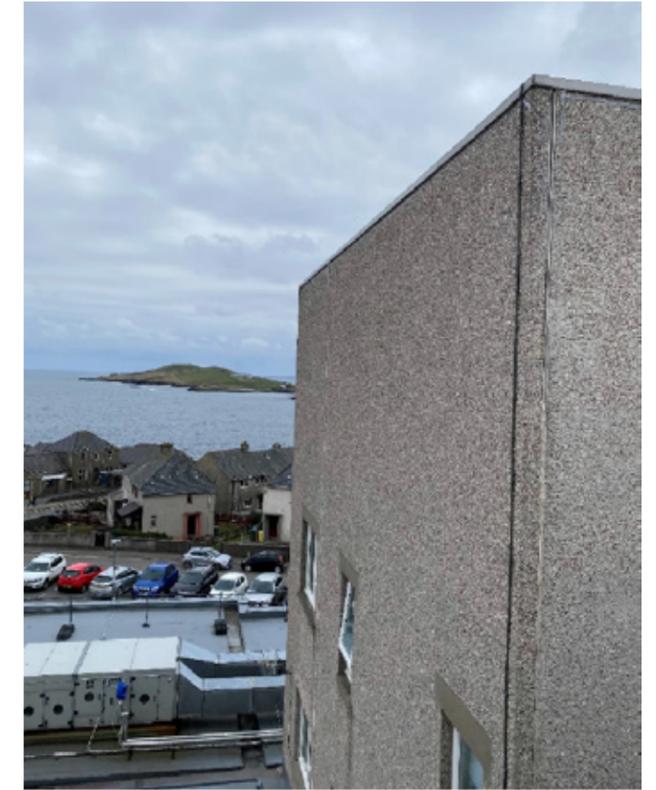


Cladding Panels			
Type Mark	Size	Count	Colour
1A	475 x 3200	262	Dark Grey
1B	475 x 3000	32	Dark Blue
1C	375 x 3200	8	Dark Blue
2A	475 x 1500	108	Light Blue
2B	475 x 2150	88	Light Blue
2C	475 x 950	17	Light Blue
3A	1425 x 1125	6	Light Blue
3B	1425 x 500	6	Light Blue
3C	1425 x 600	6	Light Blue
3D	1425 x 1200	6	Light Blue
4A	1725 x 1125	5	Light Blue
4B	1725 x 500	5	Light Blue
4C	1725 x 600	5	Light Blue
4D	1725 x 1200	5	Light Blue
5A	2325 x 1125	4	Light Blue
5B	2325 x 500	4	Light Blue
5C	2325 x 600	4	Light Blue
5D	2325 x 1200	4	Light Blue
6A	875 x 1125	3	Light Blue
6B	875 x 500	3	Light Blue
6C	875 x 600	3	Light Blue
6D	875 x 1200	3	Light Blue
6E	875 x 1500	4	Light Blue
7E	1500 x 1500	1	Light Blue
8A	1200 x 1125	5	Light Blue
8B	1200 x 500	3	Light Blue
8C	1200 x 600	1	Light Blue
8D	1200 x 1200	1	Light Blue
8E	1200 x 1500	4	Light Blue



3.5 Existing Colour Palette

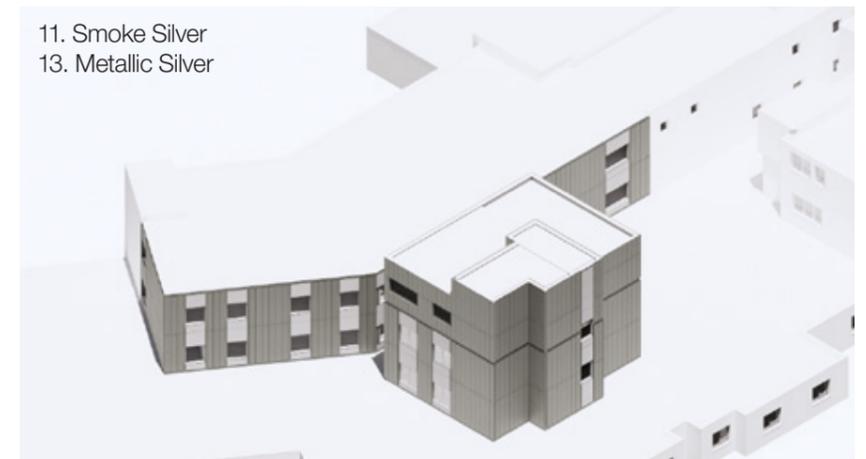
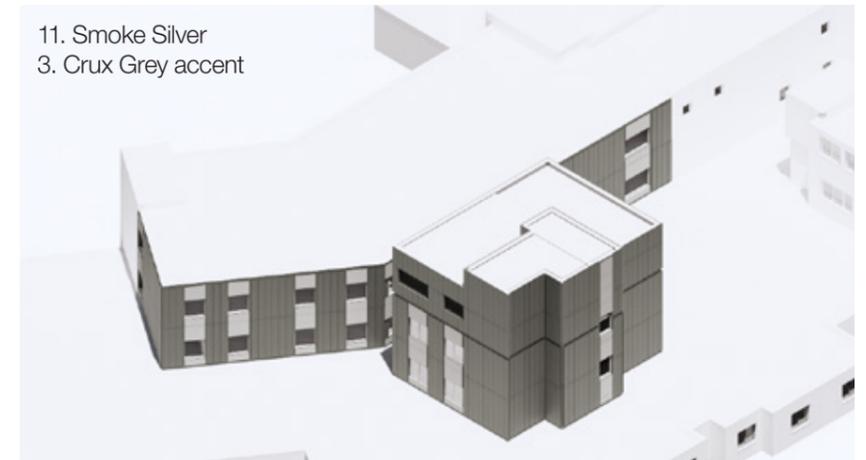
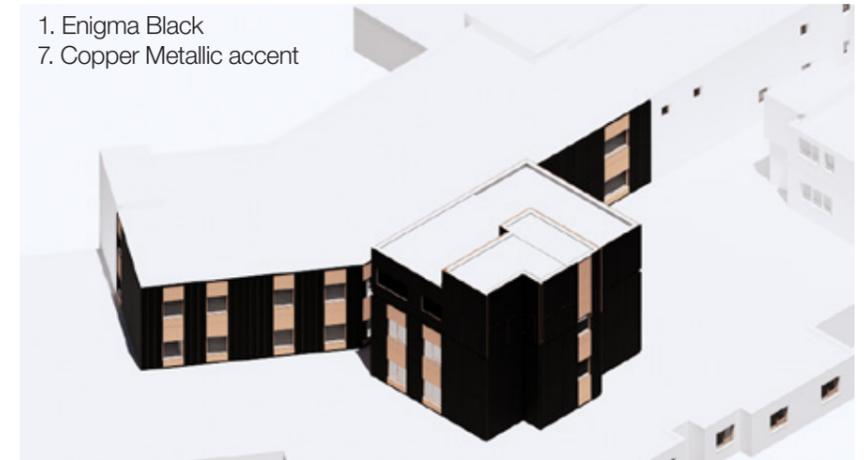
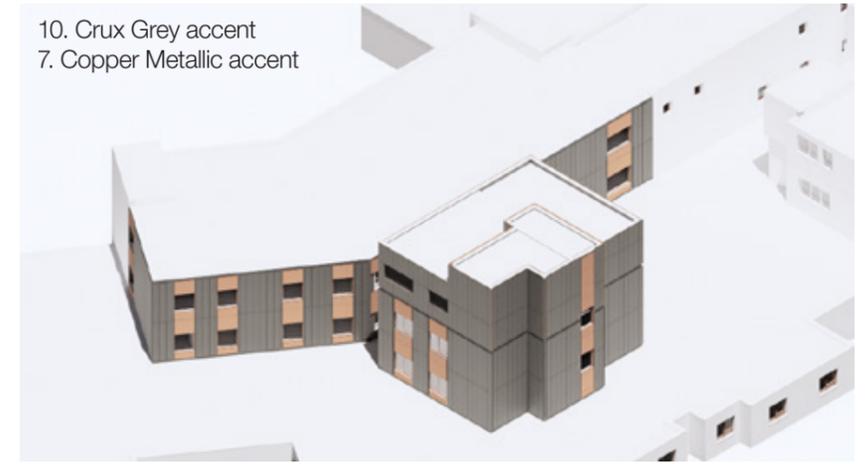
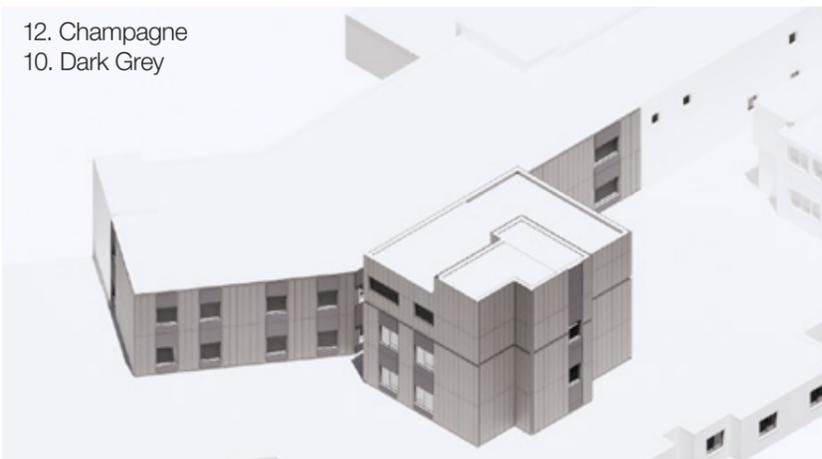
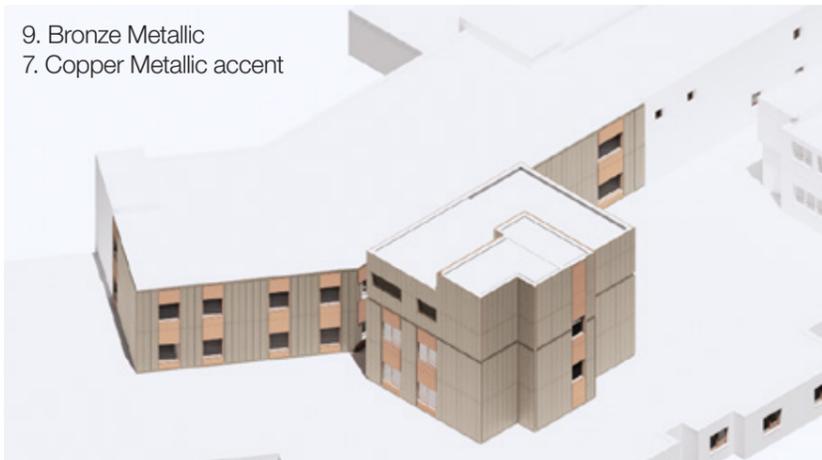
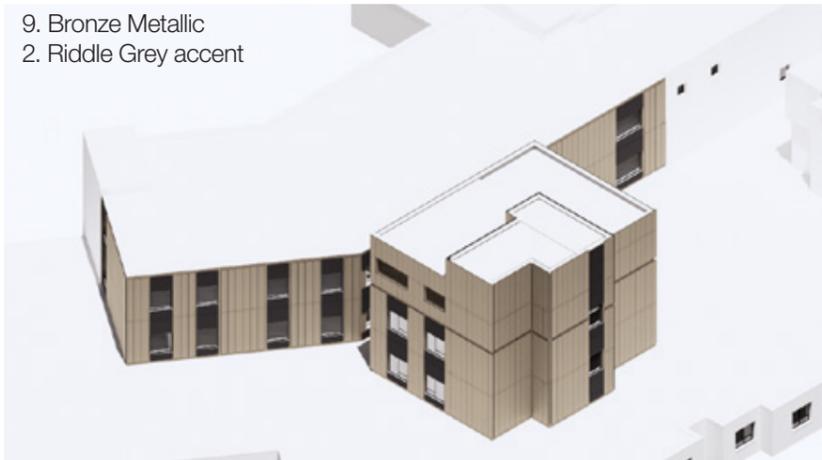
The existing colour palette of Gilbert Bain Hospital includes neutral tones with hues of beige and warmer stone colours. When proposing new cladding for the building, it is essential to consider the existing colour palette to ensure visual cohesion with both the structure itself and its surrounding environment. By aligning the new cladding with existing tones and materials, the design would respect the context of the site avoiding visual disruption between the existing and proposed. This thoughtful approach could prove favourable for statutory approvals by demonstrating sensitivity to the built environment.



3.6 Colourway Options

A detailed investigation into a range of colour options for the proposed cladding has been explored, drawing on the standard colour range available from Valcan VitraDual aluminium cladding panel express colour range. This analysis considers the visual impact and contextual appropriateness of each option in relation to the existing architectural elements of the building. The assessment takes into account the tones and finishes already present on the structure, with the aim of achieving a cohesive and complementary appearance.

Further development and stakeholder engagement will be required during RIBA Stage 3 to determine a selection for the cladding colour. Physical samples will be procured to allow comparison of the various options.



3.6 Colourway Options Option 2 External Visuals



View from main entrance of Cairnfield road



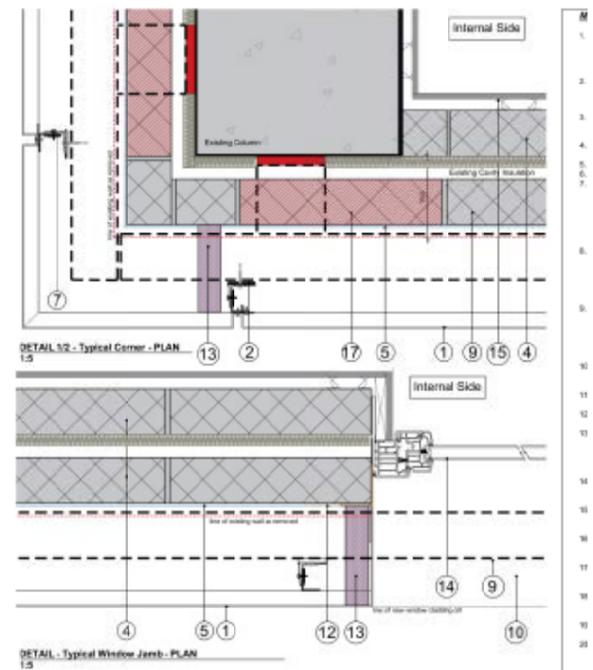
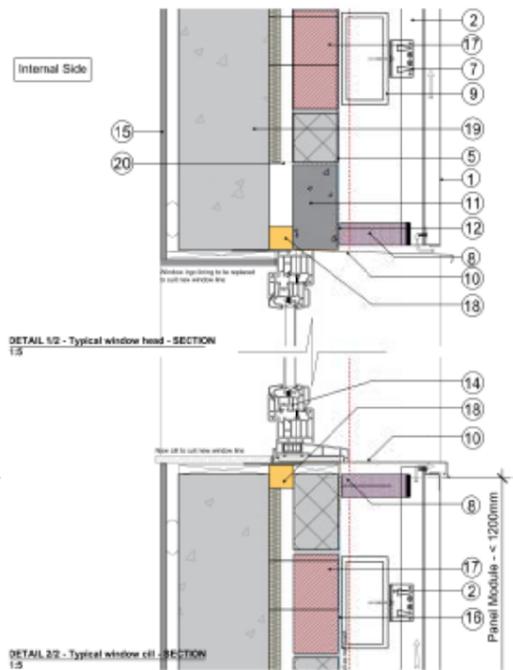
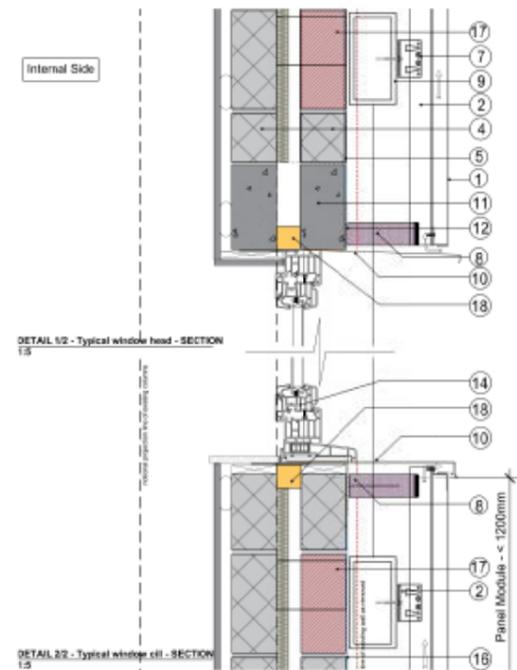
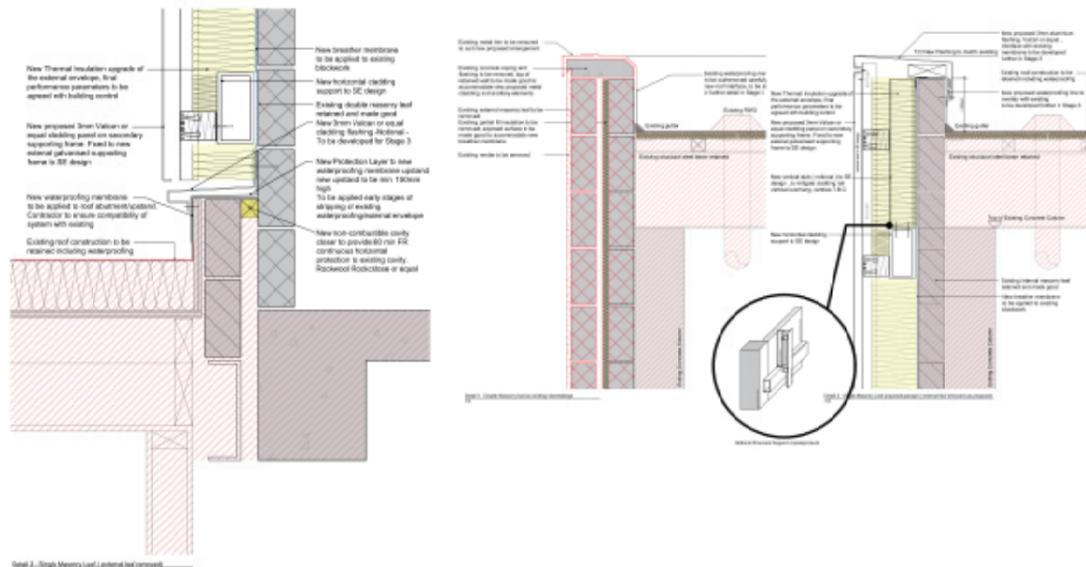
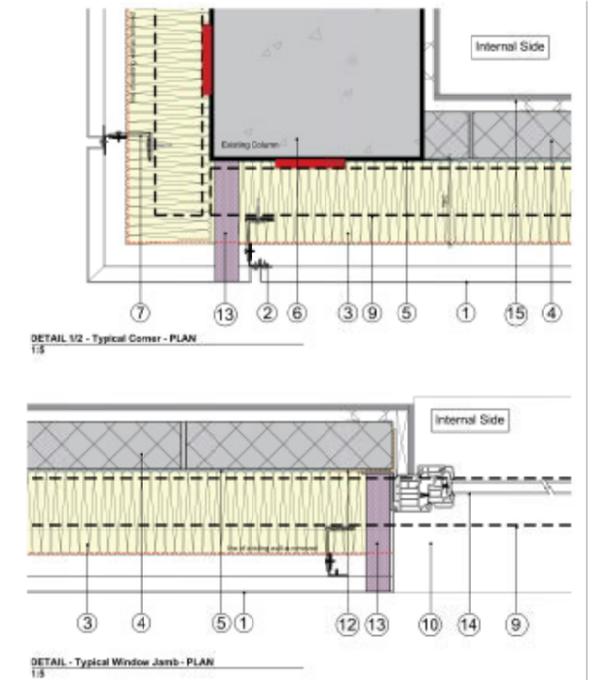
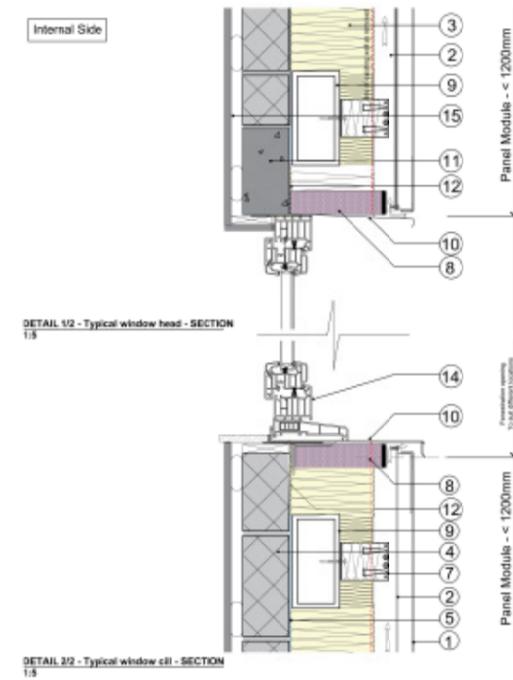
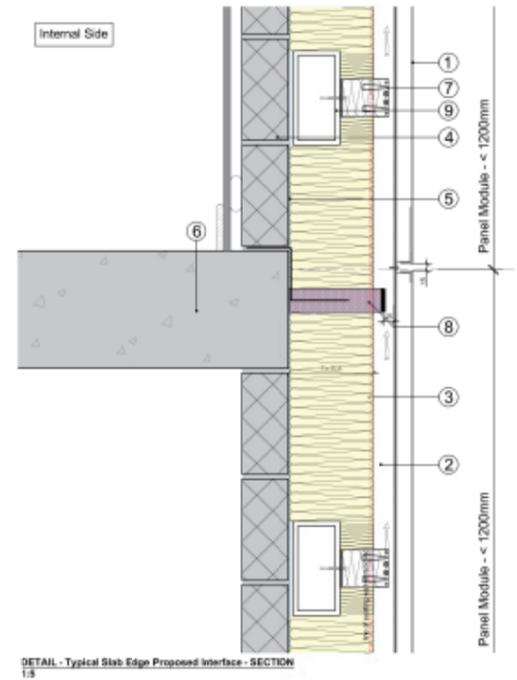
View from South Road

3.7 Cladding Typical Details Elevation 40-44

The brief is to provide suitable remedial work to areas of the receding external fabric. The preferred approach is to improve the dated and tired look to the prominent affected areas which are to be stripped of the old external envelope. The new cladding to be supported with new horizontal frame fixed to the existing concrete columns. The new aluminium cladding gives an opportunity to provide a refurbished look.

The external new envelope construction will improve the overall airtightness of the envelope and reduce the overall heat loss of the affected areas. The depth of the new construction will provide an opportunity to play with the window reveals and fenestration to break the overall flat composition of the existing render fabric. Consideration has been given to the C5 coastal conditions and statutory requirement regarding the fire performance and minimize risk of the fire spread.

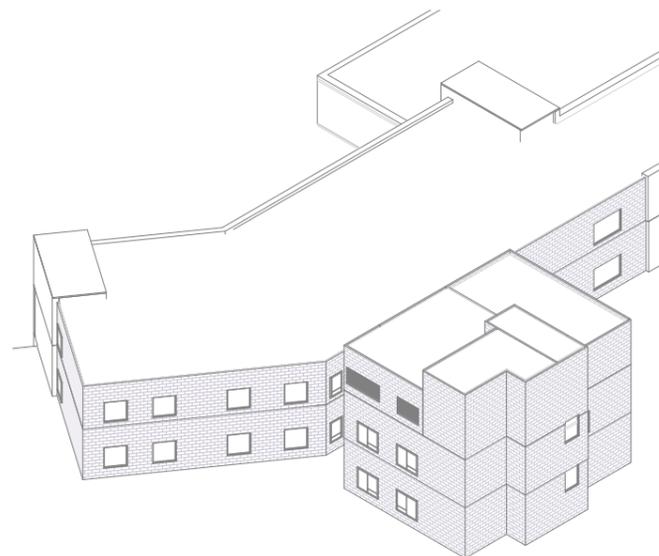
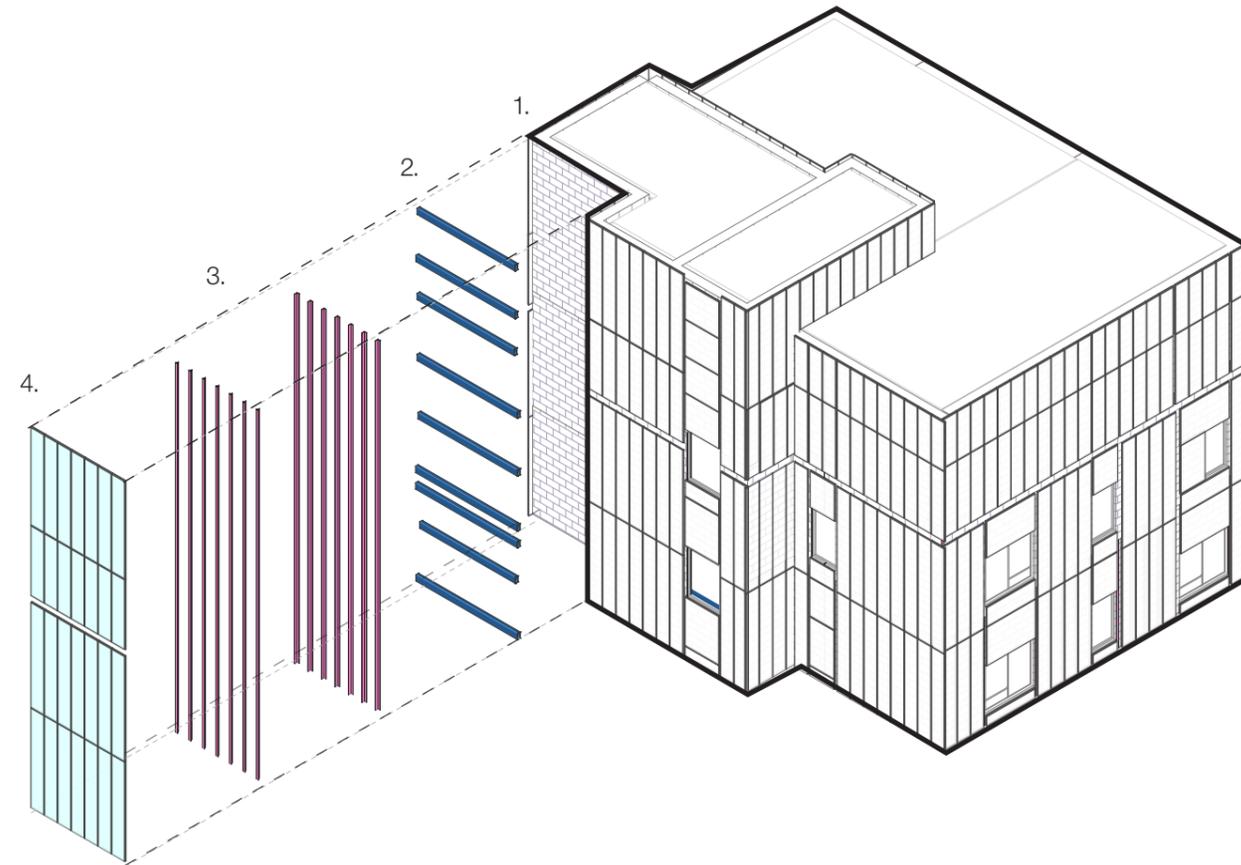
Full detail drawings appended to this report.



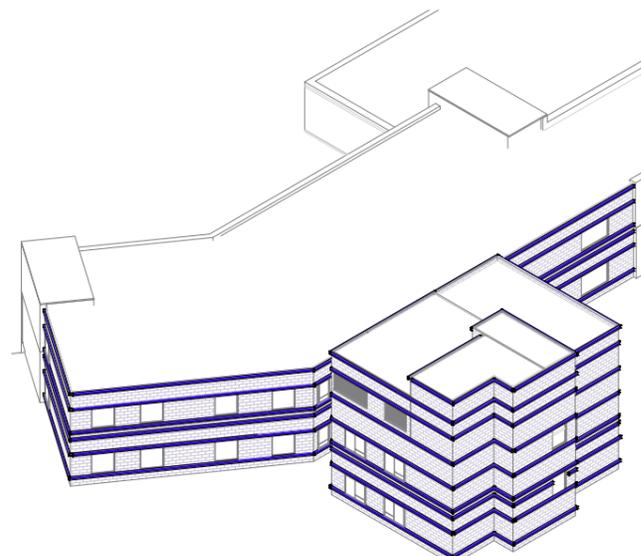
3.8 Cladding Build-up

Due to the condition of the existing inner leaf, we have been advised the proposed cladding cannot be fixed into the inner leaf blockwork but instead must span between the existing concrete columns. These are at centres ranging between 3m and 5.5m. This will require the installation of secondary steelwork to support the new cladding rails. The design of this secondary steelwork will be developed during RIBA Stage 3 and 4.

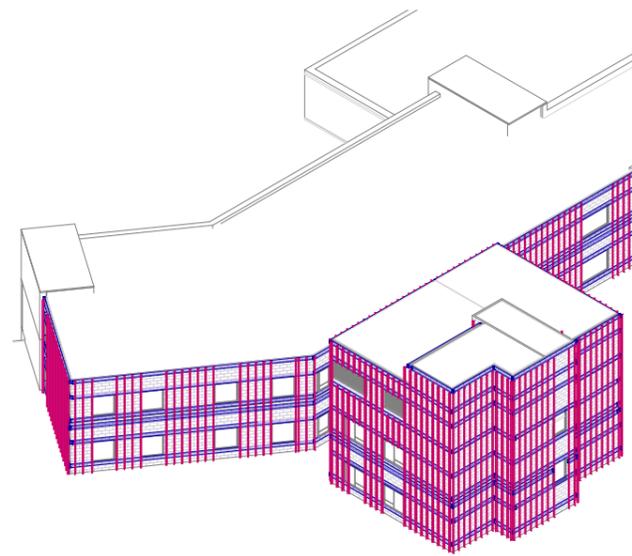
Where the blockwork outer leaf is removed, secondary horizontal steelwork and non-combustible mineral wool insulation slabs are to be installed with a min 25mm continuous cavity between this and the new rainscreen cladding.



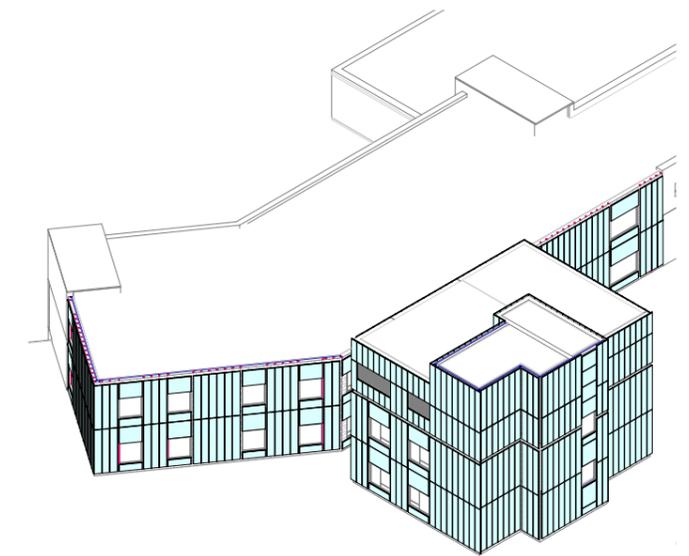
1. Existing block work



2. Proposed horizontal structure



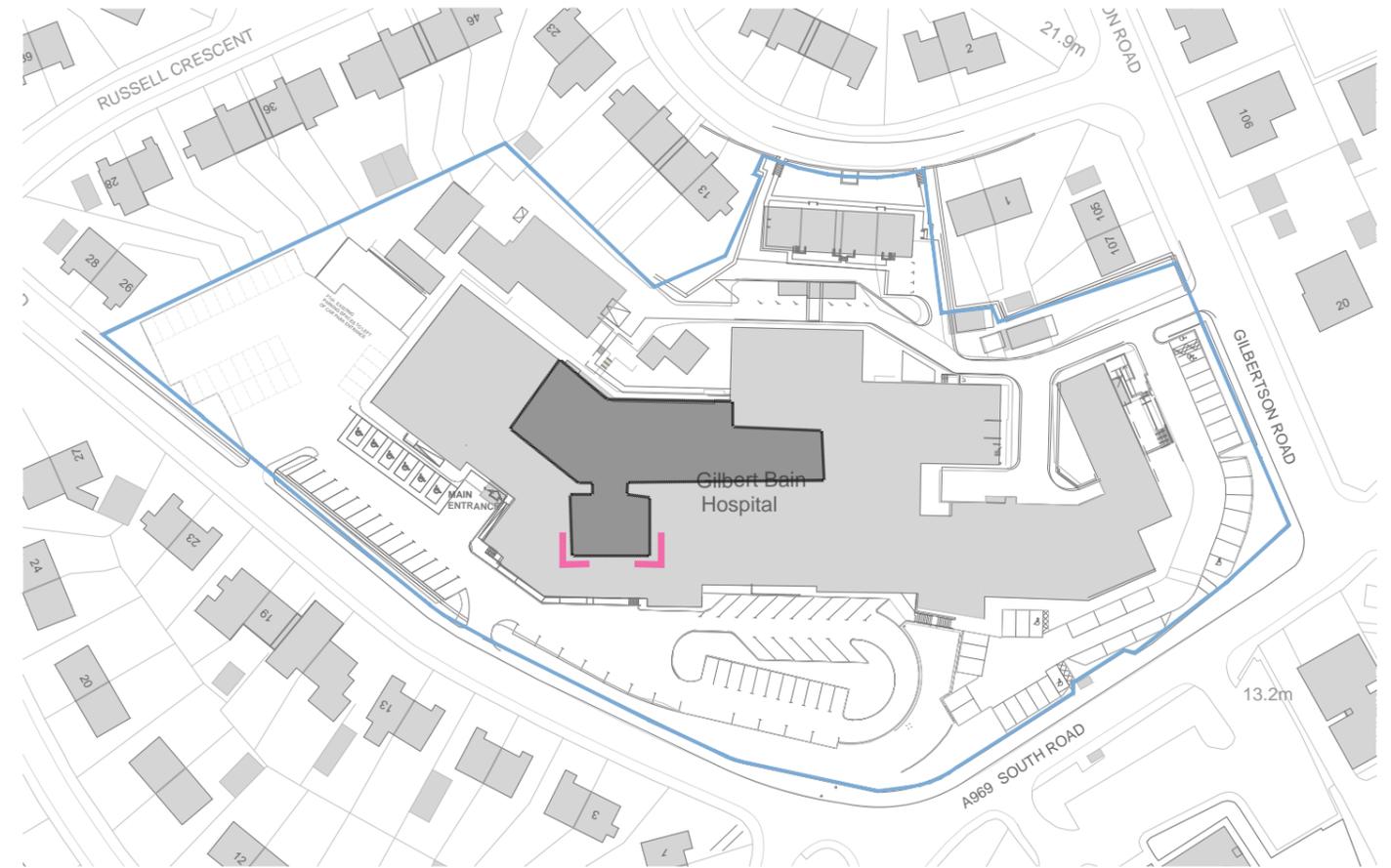
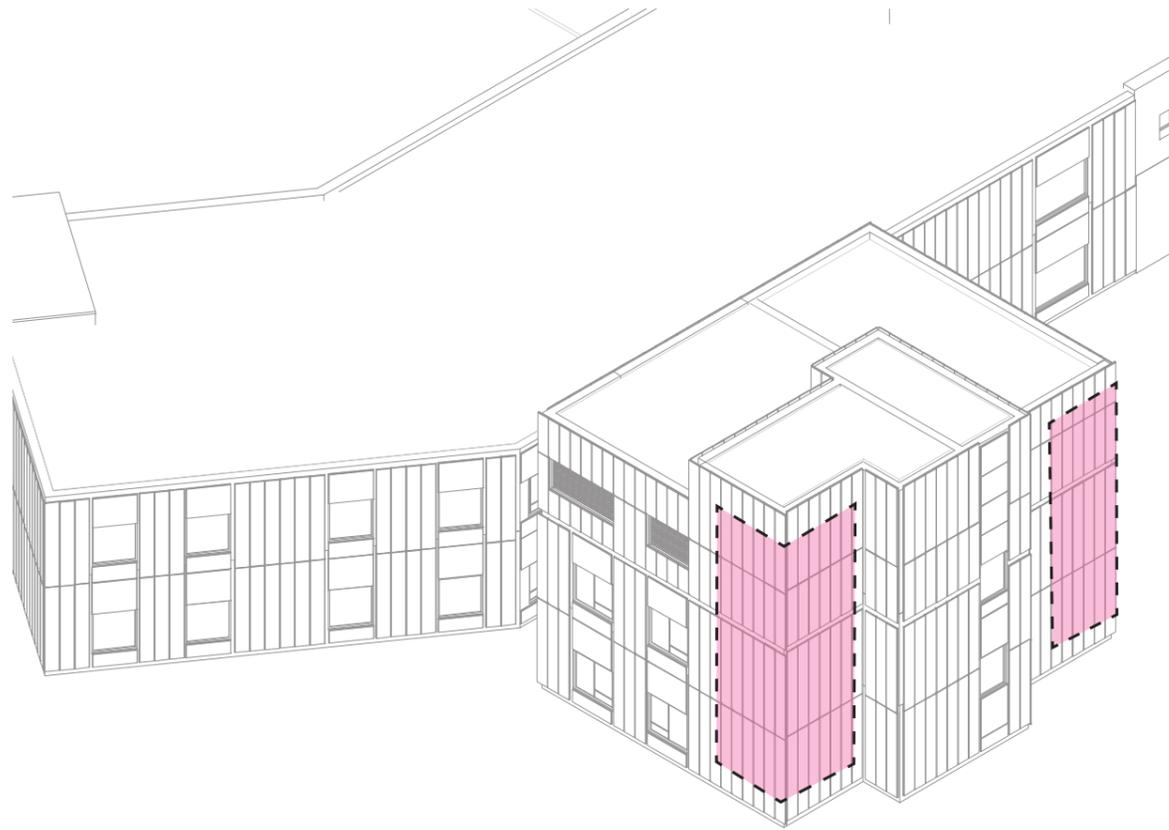
3. Proposed vertical structure



4. Proposed cladding panels

3.9 Signage

There is an opportunity to position signage on the prominent corners of the tower massing. Careful consideration to the colouring of this signage will need to be developed during RIBA Stage 3 to allow cohesion with the cladding colour.



3.10 Mechanical & Electrical Considerations

This section provides a high-level summary of the M&E services that are likely to be affected by the proposed installation of new external cladding at the Gilbert Bain Hospital, Lerwick. The works are required due to the discovery of a partial failure of the existing building blockwork structure. The following areas of the hospital will be affected by the remedial works:

- External Cladding Installation - M&E Services Interface Works
- Internal Wall Leaf - Structural Support M&E Services Interface Works
- Maternity Unit Relocation (to Ronas Ward) - M&E Services Works
- Renal Unit Relocation - M&E Services Works
- Temporary Accommodation - M&E Services Works

All mechanical services are designated using an “M” reference, e.g. M1, M2, etc. All electrical services are designated using an “E” reference, e.g. E1, E2, etc.

External Cladding - M&E Interface Works

Drawing No. Drawing Description

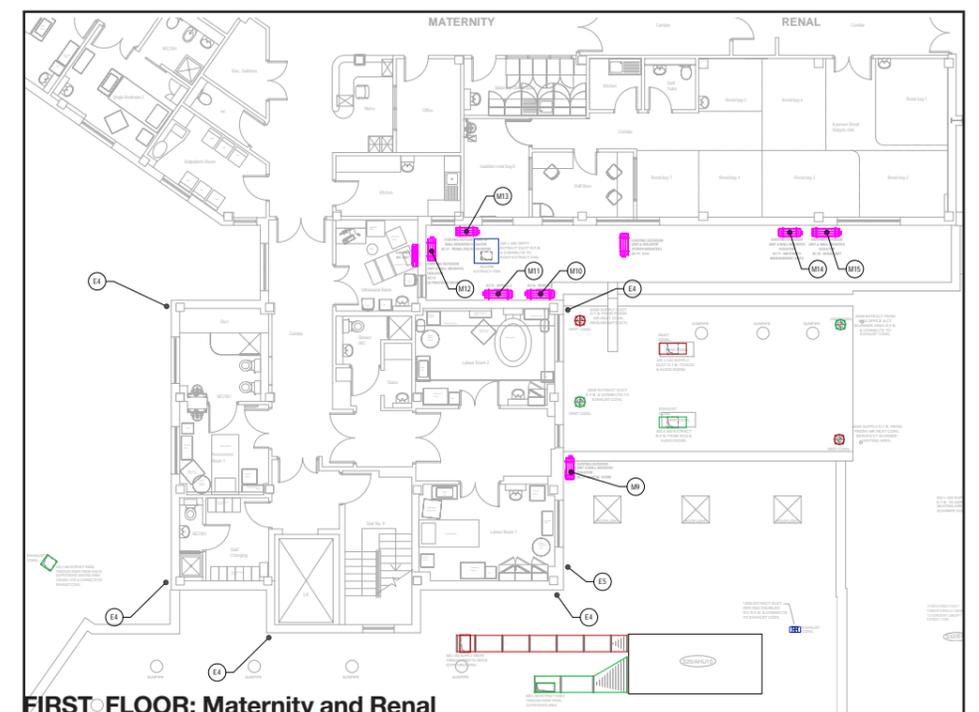
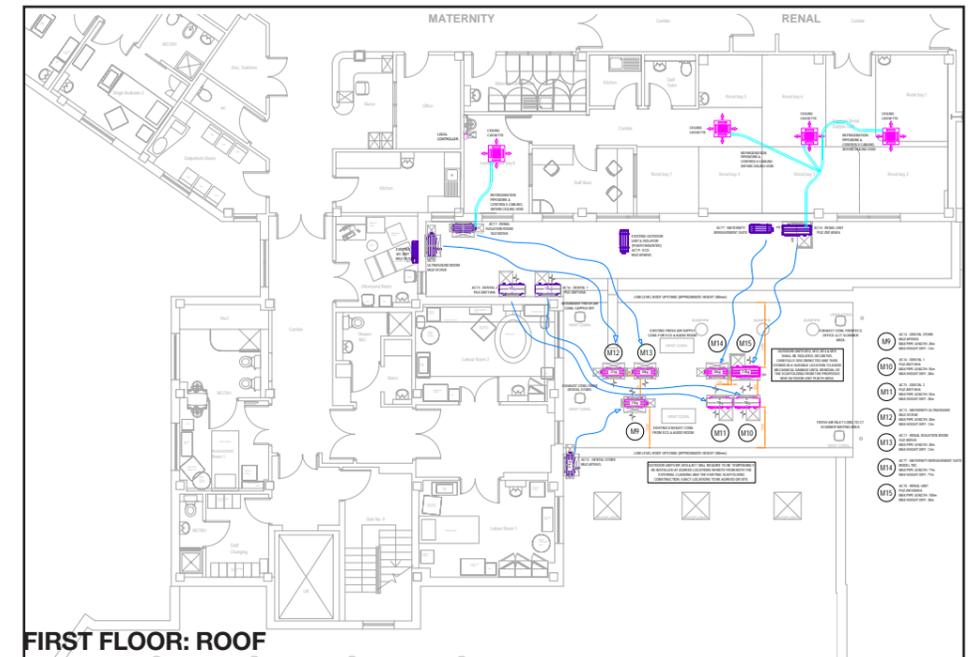
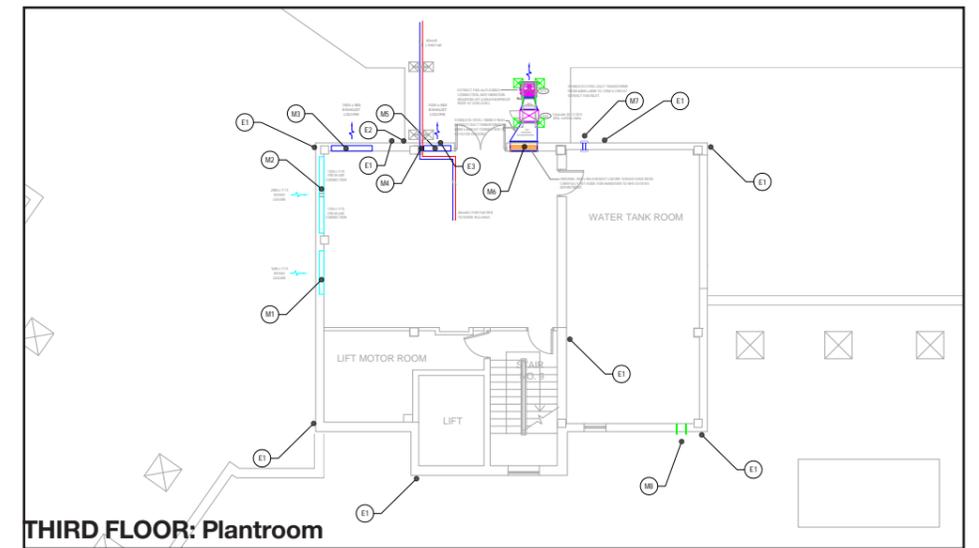
790 (5-) ME200 First Floor, Maternity, M&E Service Penetrations

790 (5-) ME400 Third Floor, Plantroom, M&E Service Penetrations

790 (55) M200 First Floor, Roof – Air Conditioning, Proposed Outdoor Unit Relocations

For a more detailed assessment of the impact to the M&E services and Callidus's solutions, please refer to separate Callidus Design preliminary report titled 'Proposed External Cladding Installation M&E Services Stage 2 Report' Revision A dated 2nd May 2025

Reference	Floor Level	Service Description
M1	Third Floor	AHU 10 Fresh air intake louvre
M2	Third Floor	AHU 1 & 2 Fresh Air Intake Louvre
M3	Third Floor	AHU 1 Exhaust Louvre
M4	Third Floor	20mm Flow & Return LTHW Pipes serving RCU AHU 1
M5	Third Floor	AHU 2 Exhaust Louvre
M6	Third Floor	AHU 2 Exhaust Louvre
M7	Third Floor	Water Tank Room Exhaust Fan
M8	Third Floor	Water Tank Overflow Warning Pipes
E1	Third Floor	Lightning Protection tape (multiple locations)
E2	Third Floor	TV Aerial Installation
E3	Third Floor	Cable tray installation
M9	First Floor (Roof)	A/C Heat Pump Outdoor unit (Dental Store)
M10	First Floor (Roof)	A/C Heat Pump Outdoor unit (Dental Suite 1)
M11	First Floor (Roof)	A/C Heat Pump Outdoor unit (Dental Suite 2)
M12	First Floor (Roof)	A/C Heat Pump Outdoor unit (Maternity Ultrasound Room)
M13	First Floor (Roof)	A/C Heat Pump Outdoor unit (Renal Unit isolation room)
M14	First Floor (Roof)	A/C Heat Pump Outdoor unit (Maternity Bereavement Suite)
M15	First Floor (Roof)	A/C Heat Pump Outdoor unit (Renal Unit)
E4	First Floor (Roof)	Lightning Protection tape (multiple locations)
E5	First Floor (Roof)	TV Aerial Installation



3.10 Mechanical & Electrical Considerations

This section provides a high-level summary of the M&E services required to permit the installation of new temporary structural props at the inner leaf walls & their potential interaction with existing M&E services

Internal Wall Leaf - M&E Interface Works

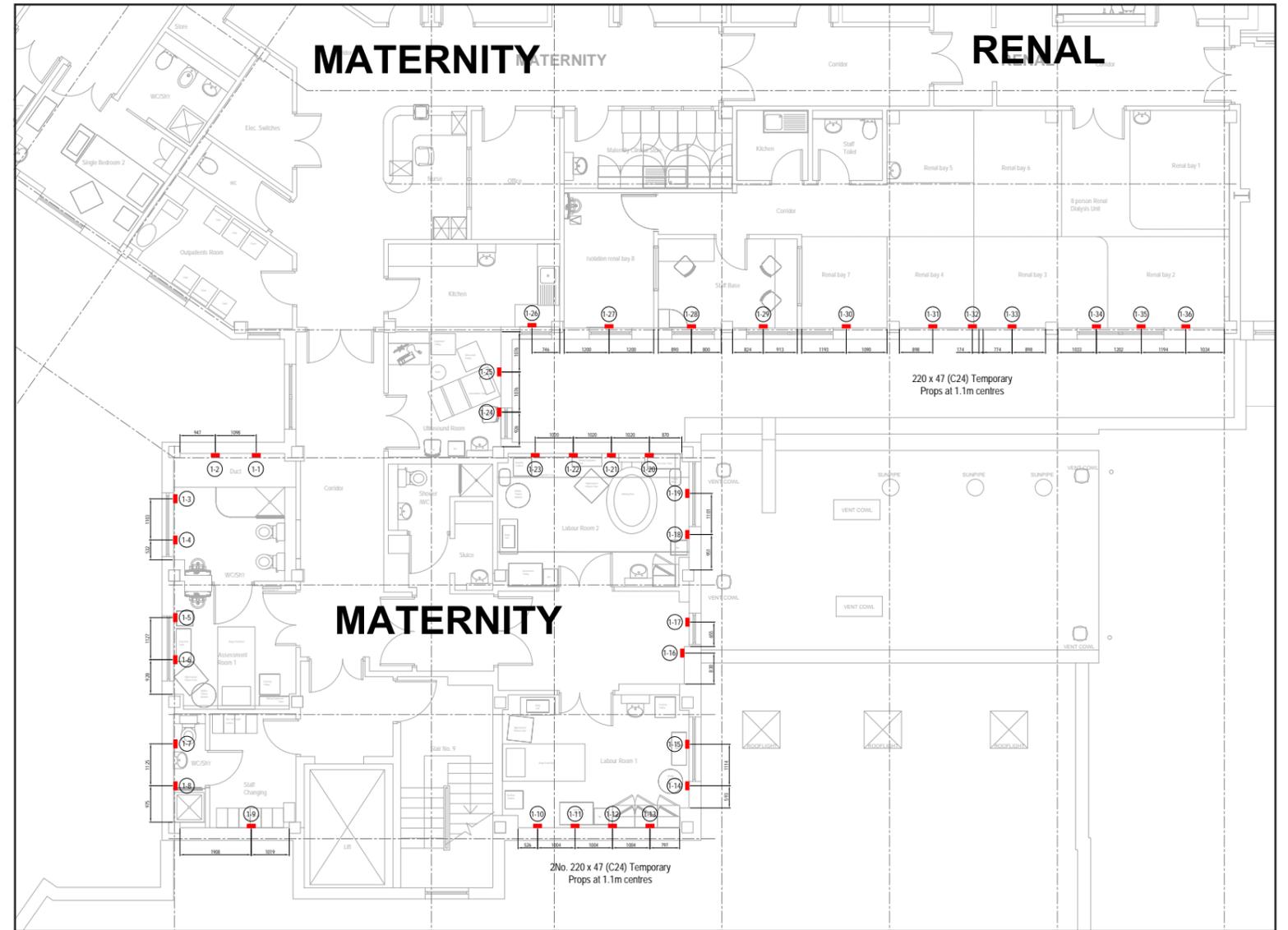
Drawing No. Drawing Description

790 (5-) ME210 First Floor, Maternity, Props to Inner Leaf Walls

790 (5-) ME310 Second Floor, Ward 3, Props to Inner Leaf Walls

790 (5-) ME410 Third Floor, AHU Plantroom, Lift Motor Room & Water Tank Room, Props to Inner Leaf Walls

Reference	Floor Level	Service Description
1-1, 1-2	First Floor	Maternity Assessment Room 1 WC/Shower
1-3, 1-4	First Floor	Maternity Assessment Room 1 WC/Shower
1-5	First Floor	Maternity Assessment Room 1
1-6	First Floor	Maternity Assessment Room 1 Radiator
1-7, 1-8	First Floor	Maternity Staff Changing WC & Shower
1-9	First Floor	Maternity Staff Changing
1-10	First Floor	Maternity Labour Room 1 Heating Pipework
1-11	First Floor	Maternity Labour Room 1
1-12	First Floor	Maternity Labour Room 1 Electrical Trunking
1-13	First Floor	Maternity Labour Room 1 Wall Cabinets
1-14	First Floor	Maternity Labour Room 1 Radiator
1-15	First Floor	Maternity Labour Room 1 Radiator
1-16	First Floor	Maternity Labour Room Vestibule Medical Gases Manifold
1-17	First Floor	Maternity Labour Room Vestibule Electrical Trunking
1-18	First Floor	Maternity Labour Room 2 Drainage Header
1-19	First Floor	Maternity Labour Room 2 Drainage Header and Radiator
1-20, 1-21	First Floor	Maternity Labour Room 2
1-22, 1-23	First Floor	Maternity Labour Room 2 Wall Mounted Trunking
1-24	First Floor	Maternity Ultrasound Room Radiator
1-25	First Floor	Maternity Ultrasound Room Electrical Trunking
1-26	First Floor	Maternity Staff Office Drainage Header
1-27	First Floor	Renal Unit Isolation Renal Bay 8
1-28	First Floor	Renal Unit Staff Base
1-29	First Floor	Renal Unit Staff Base Heating Pipework
1-30	First Floor	Renal Unit Renal Bay 7 Compartment Trunking
1-31	First Floor	Renal Unit Renal Bay 4 Drainage Header
1-32	First Floor	Renal Unit Renal Bay 4 Low Level RO Water Filtration Unit
1-33	First Floor	Renal Unit Renal Bay 3 Low Level RO Water Filtration Unit
1-34, 1-35	First Floor	Renal Unit Renal Bay 2 Low Level Radiator
1-36	First Floor	Renal Unit Renal Bay 2 Low Level Drain and Domestic Water Services

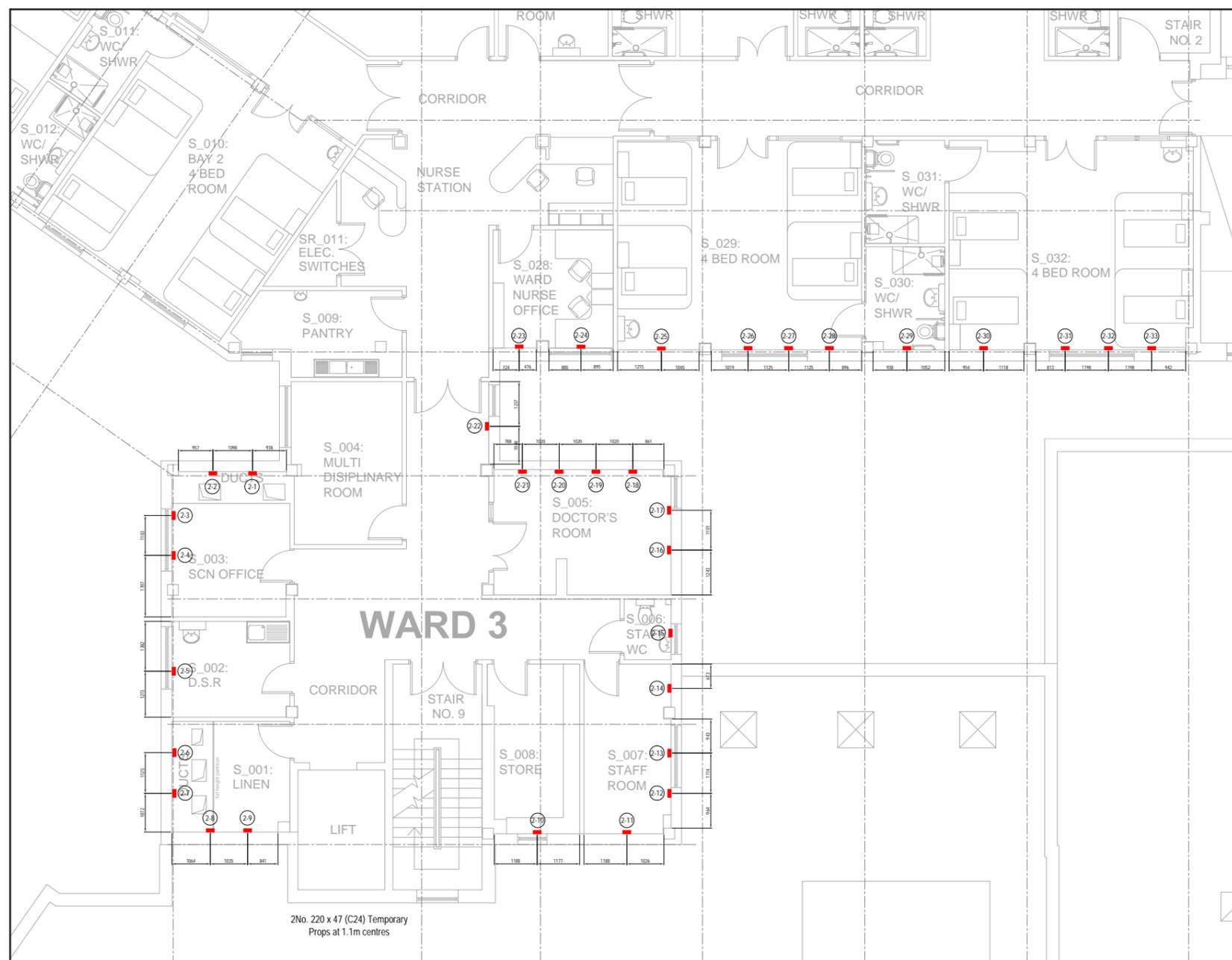


FIRST FLOOR: Maternity and Renal

For a more detailed assessment of the impact to the M&E services, please refer to separate Callidus Design preliminary report titled 'Proposed External Cladding Installation M&E Services Stage 2 Report' Revision A dated 2nd May 2025

3.10 Mechanical & Electrical Considerations

Reference	Floor Level	Service Description
2-1, 2-2	Second Floor	Ward 3 Senior Charge Nurse Office (former day room) Duct Riser
2-3, 2-4	Second Floor	Ward 3 Senior Charge Nurse Office (former day room) Radiator
2-5	Second Floor	Ward 3 Radiator
2-6, 2-7	Second Floor	Ward 3 Linen Store Duct Riser
2-8, 2-9	Second Floor	Ward 3 Linen Store Drainage Pipework
2-10	Second Floor	Ward 3 Store Radiator
2-11	Second Floor	Ward 3 Staff Room (former doctors room)
2-12	Second Floor	Ward 3 Compartment Trunking
2-13	Second Floor	Ward 3 Staff Room Radiator
2-14	Second Floor	Ward 3 Staff Room
2-15	Second Floor	Ward 3 Staff WC Drainage Pipe
2-16, 2-17	Second Floor	Ward 3 Doctors Room Compartment Trunking
2-18, 2-19	Second Floor	Ward 3 Electrical Trunking
2-20, 2-21	Second Floor	Ward 3 Radiator
2-22	Second Floor	Ward 3 Corridor
2-23	Second Floor	Ward 3 Ward Nurse Office
2-24	Second Floor	Ward 3 Ward Nurse Office
2-25	Second Floor	Ward 3 4 Bed Room (West)
2-26, 2-27	Second Floor	Ward 3 4 Bed Room (West)
2-28	Second Floor	Ward 3 4 Bed Room (West)
2-29	Second Floor	Ward 3 4 Bed Room En-suite & Shower
2-30	Second Floor	Ward 3 4 Bed Room (East)
2-31, 2-32	Second Floor	Ward 3 4 Bed Room (East)
2-33	Second Floor	Ward 3 4 Bed Room (East)

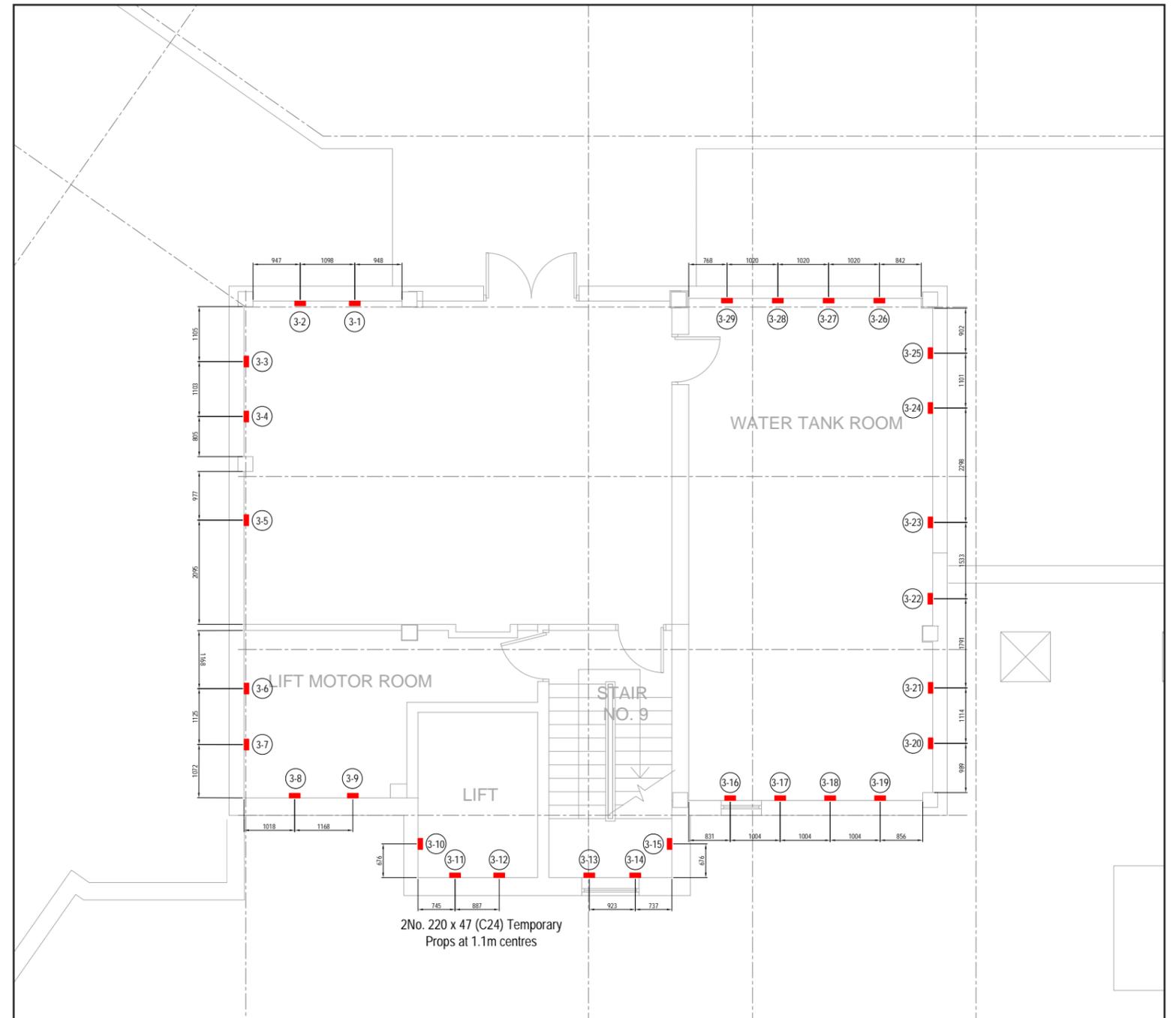


SECOND FLOOR: Ward 3

For a more detailed assessment of the impact to the M&E services, please refer to separate Callidus Design preliminary report titled 'Proposed External Cladding Installation M&E Services Stage 2 Report' Revision A dated 2nd May 2025

3.10 Mechanical & Electrical Considerations

Reference	Floor Level	Service Description
3-1,3-2	Third Floor	AHU Plantroom Louvre
3-3, 3-4	Third Floor	AHU Plantroom Louvre Ductwork
3-5	Third Floor	AHU Plantroom Louvre
3-6,3-7	Third Floor	Lift Motor Room
3-8, 3-9	Third Floor	Lift Motor Room
3-10	Third Floor	Lift Motor Room
3-11, 3-12	Third Floor	Lift Motor Room
3-13,3-14,3-15	Third Floor	Stairwell No.9
3-16,3-17, 3-18,3-19	Third Floor	Water Tank Room
3-20,3-21	Third Floor	Water Tank Room
3-22,3-23	Third Floor	Water Tank Room
3-24,3-25	Third Floor	Water Tank Room
3-26,3-27,3- 28,3-29	Third Floor	Water Tank Room



THIRD FLOOR: Plantroom

For a more detailed assessment of the impact to the M&E services, please refer to separate Callidus Design preliminary report titled 'Proposed External Cladding Installation M&E Services Stage 2 Report' Revision A dated 2nd May 2025

3.11 Advising Contractor Considerations

This report outlines the key decisions made during Stage 2, major risks and mitigations, and next steps for the façade works at the Gilbert Bain Hospital. The project involves a four-phase delivery strategy to address the impact on existing clinical services, ensure patient care, and mitigate risks associated with the construction works.

Introduction

Robertson Construction has continued to assist NHS Shetland, Thomson Gray, and the design team to develop proposals during RIBA Stage 2. The focus has been on programme, risk, buildability considerations, site logistics, and estimating Prelims costs for the project.

Project Delivery Considerations

The impact of the works on existing clinical services has been assessed. The Maternity department, Renal zone, and Ward 3 will need to be fully vacated during the main façade works. Maintaining patient care in these locations would create risks of frequent work stoppages and heavily compromise the functioning of the departments due to noise, dust, disruption to MEP services, and privacy issues. The patient experience is a key consideration as all three departments have very sensitive patients.

There is a possibility that rooms on the other side of the corridor at façade 44 could be used for non-patient functions during the construction period but they will still be affected by noise and cold air. To mitigate these issues during the works, an insulated hygienic hoarding/temporary screen could be constructed in the corridors. This would also provide for the robust isolation of the affected rooms from a H&S perspective.

Four-Phase Construction Delivery Strategy

The emerging construction delivery strategy comprises four distinct phases of works on site:

Phase 1: Immediate structural interventions to secure the blockwork walls, planned to commence in July/August 2025. The anticipated commencement date for the main façade remedial works is June 2026. It has been assessed by the project team and NHS Shetland that the condition of the existing blockwork outer leaf walls to the four storey tower present an immediate risk to health and safety and to the ongoing delivery of clinical services at the hospital. Although the walls are subject to on-going monitoring, a collapse of blockwork currently presents an unacceptably

high level of risk. To address this, the team has proposed immediate structural interventions to secure the blockwork walls. A design has been developed, and this work is currently being planned and priced by Robertson.

Phase 2: Preparatory/enabling works for temporary modular accommodation and minor alterations to parts of the existing hospital for decant accommodation, commencing on 05/03/26 and taking 8 weeks to complete. The scope of work associated with the modular accommodation is still being developed but will include drainage, new utility connections or ducts for temporary services, foundations/bases for the modular units and may include alterations to the existing car park and boundary walls/fences. The minor alterations in the existing hospital are focused on adapting the existing Ronas Ward to accommodate the Maternity Dept.

Phase 3: Installation of modular units at the site on 30/04/26, including a link corridor connecting the temporary accommodation to the existing link to the MRI Scanner suite.

Phase 4: Main construction works as described in the programme narrative section.

Outpatients Department

The main façade works involve removing the defective outer leaf of blockwork to the tower, temporarily exposing the cavity and inner leaf of blockwork to the weather. Maintaining a fully functioning Outpatients department in its current location is critical for NHS Shetland during the works. The down takings methodology and replacement cladding sequence have been developed to minimise the risk of water ingress. Effective cavity tray/seal installation and localised weather protection will be essential during the works.

Elevation 36 and 37 – Existing Services

Removal and replacement of bossed render is generally straightforward in these locations, with sufficient space for a scaffold. However, services pipes running above the ground floor windows make it impossible to address render issues behind these services. A simple tap test confirmed much of the render was bossed. Further investigation will be conducted at RIBA Stage 3.

Elevation 38 and 39

The original scope for Elevations 38 and 39 was to replace damaged cills and lintels and re-render (Option A). An inspection concluded that no parts of the existing render could be retained, and all would have to be removed. Option B involves overcladding the existing blockwork outer leaf with a cladding system, providing a more robust weatherproofing solution and cohesive appearance.

Delivery Programme

The overall duration for the façade works has been assessed at 39 weeks, commencing 25/06/26 and completing 15/04/27. A further 15 weeks of activities have been identified to reinstate services, test and commission services, recommission clinical areas, and remove the temporary accommodation, giving a total contract duration of 58 weeks.

Programme Notes

Elevation 44

The programme contains a 2 week “winded off provision” which would impact on the cladding installation dependent on the final choice of panel type. The temporary bracing for the internal leaf to allow the external leaf to be removed would be of a “wind post” type – either timber or steel and fixed at the head and foot. Details to be finalised by engineer. Temporary water proofing when external leaf is removed – the proposal is for a Tyvek layer to be applied to the outside face of the internal leaf, as the external leaf is dismantled which would become part of the permanent installation with the rain screen cladding system. Callidus MEP report dated 10 March has been factored into the draft programme and should be reviewed by Callidus for verification of timescales.

Programme task 85, 11 weeks from 22/07/26 – 07/10/26.

Elevation 42/part 43

Notes under elevation 44 apply to this elevation too.

Programme task 102, 15 weeks from 18/08/26 – 01/12/26.

Elevation 41

Notes under elevation 44 above apply to this elevation too.

Programme task 119, 12 weeks from 13/10/26 – 18/01/27.

Elevation 40/part of 43

Notes under elevation 44 above apply to this elevation too.

Programme task 136, 12 weeks from 23/11/26 – 01/03/27.

Elevation 39

Option A is in line with the initial RIBA Stage 1 design brief in replacing all lintels, cills, expansion and stop beads. Strip off all existing render and re-render. This scope won't provide any enhancement to the existing cavity tray at FF level.

Programme task 154, 12 weeks from 04/01/27 – 29/03/27.

Option B would be to strip off the existing render and leave the existing façade blockwork, over clad with a cladding system (as per the 4-storey tower) and install new windows. This option will have less impact on the wards internally, provide a more robust weather proofing solution, create a more cohesive appearance and is more time effective.

Programme task 187, 7 weeks from 05/01/27 – 23/02/27

Elevation 38

Option A is in line with initial RIBA Stage 1 design brief in replacing all lintels, cills, expansion and stop beads. Strip off all existing render and re-render. This scope won't provide any enhancement to the existing cavity tray at FF level.

Programme task 172, 6 weeks from 15/02/27 – 30/03/27.

Option B would be to leave the existing façade, over clad with a cladding system (as per the 4-storey tower) and install new windows. This option will have less impact on the wards internally, provide a more robust weather proofing solution and create a more cohesive appearance.

Programme task 198, 6 weeks from 11/02/27 – 26/03/27.

Elevations 36 and 37

Timescales are estimated at present until the extent of the bossed render has been established (once scaffolding erected). The existing district heating pipes running horizontally are located circa 75mm from the face of the wall. As these cannot be isolated/moved, addressing any bossed render at these locations will not be possible. Discussions to date have suggested a “board panel” could be installed as an alternative if these areas are bossed. New render works will be dictated by temperatures at the time of year. Current programme dates have set these works starting in July 26 which falls in line with summer climatic conditions.

Programme task 74, 7 weeks from 08/07/26 – 28/08/26.



4

**Decant
Options**

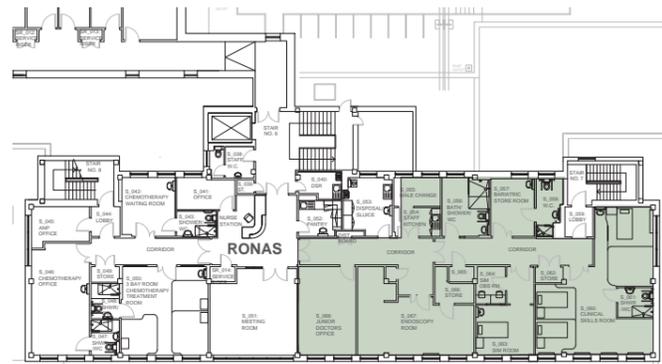
4.1 Maternity Decant Option 1 [247.507m²]

The RIBA Stage 1 Report identified Option 1 (relocation to Ronas Ward within the 2nd floor of the GBH main building) as the preferred decant solution. This option ensures that Maternity Services remain close to other key departments such as Ultrasound and Theatres on which they depend.

During Stage 2, various detailed option layouts have been prepared for Stakeholder consideration. Option 2a has been identified as the preferred option and the layout will finalise following coordination with the SE and M+E consultants during RIBA Stage 3.

- RIBA Stage 2 Option 1
- RIBA Stage 2 Option 1a
- RIBA Stage 2 Option 2 (current preferred Option)
- RIBA Stage 2 Option 3

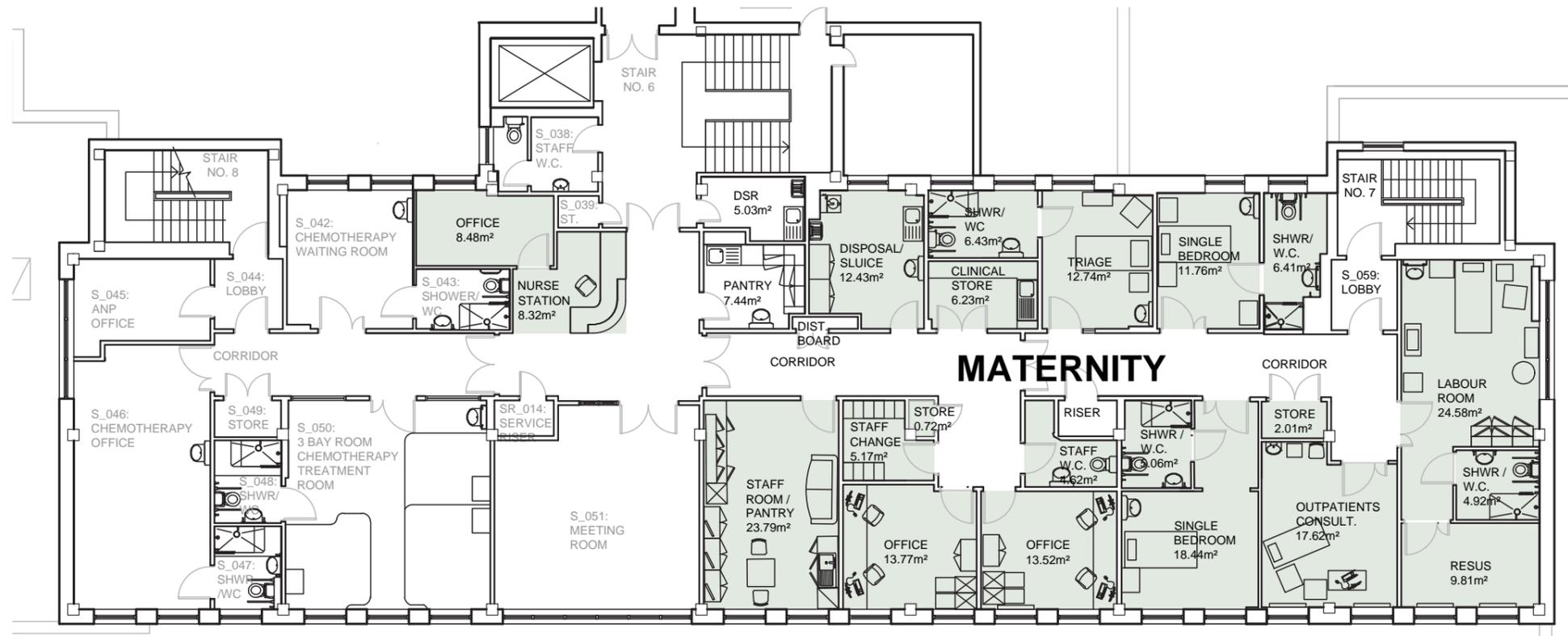
RIBA Stage 1 OPTION 1: Maternity into Ronas Ward



Total Required Area in Ronas Ward

247.507m²

RIBA Stage 2 OPTION 1



24069A GBH Cladding Remedials

MATERNITY		MINIMUM		OPTION 1 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	26.3	2	30.2
En-suite	2	4.85	9.7	2	11.47
Triage Room & En-suite	1	21.79	21.79	1	19.17
Labour Room	1	17.37	17.37	1	24.58
Paediatric Resus	1	12.41	12.41	1	9.81
Nurse Station	1	7.94	7.94	1	8.32
Outpatients Consultant Room	1	10.4	10.4	1	17.62
SUB TOTAL					105.91
Disposal Room	1	8.94	8.94	1	12.43
Sluice/Test	1	6.84	6.84	1	-
Store	2	3.38	6.76	2	2.73
Clinical Store	1	9.39	9.39	1	6.23
Shower Room	1	7.18	7.18	1	4.92
SUB TOTAL					26.31
Staff Change & WC	1	9.63	9.63	1	9.79
Office	2	9.66	19.32	2	35.77
Staff Room/Pantry	1	16.42	16.42	1	23.79
SUB TOTAL			45.37		69.35
TOTAL			190.39		216.83
Circulation/Plant Allowance 30%			57.12		
GRAND TOTAL			247.507		

Department Decants

MATERNITY		MINIMUM		OPTION 1 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	26.3	2	30.2
En-suite	2	4.85	9.7	2	11.47
Triage Room & En-suite	1	21.79	21.79	1	19.17
Labour Room	1	17.37	17.37	1	24.58
Paediatric Resus	1	12.41	12.41	1	9.81
Nurse Station	1	7.94	7.94	1	8.32
Outpatients Consultant Room	1	10.4	10.4	1	17.62
SUB TOTAL			105.91		121.17
Disposal Room	1	8.94	8.94	1	12.43
Sluice/Test	1	6.84	6.84	1	-
Store	2	3.38	6.76	2	2.73
Clinical Store	1	9.39	9.39	1	6.23
Shower Room	1	7.18	7.18	1	4.92
SUB TOTAL			39.11		26.31
Staff Change & WC	1	9.63	9.63	1	9.79
Office	2	9.66	19.32	2	35.77
Staff Room/Pantry	1	16.42	16.42	1	23.79
SUB TOTAL			45.37		69.35
TOTAL			190.39		216.83
Circulation/Plant Allowance 30%			57.12		
GRAND TOTAL			247.507		

Pros

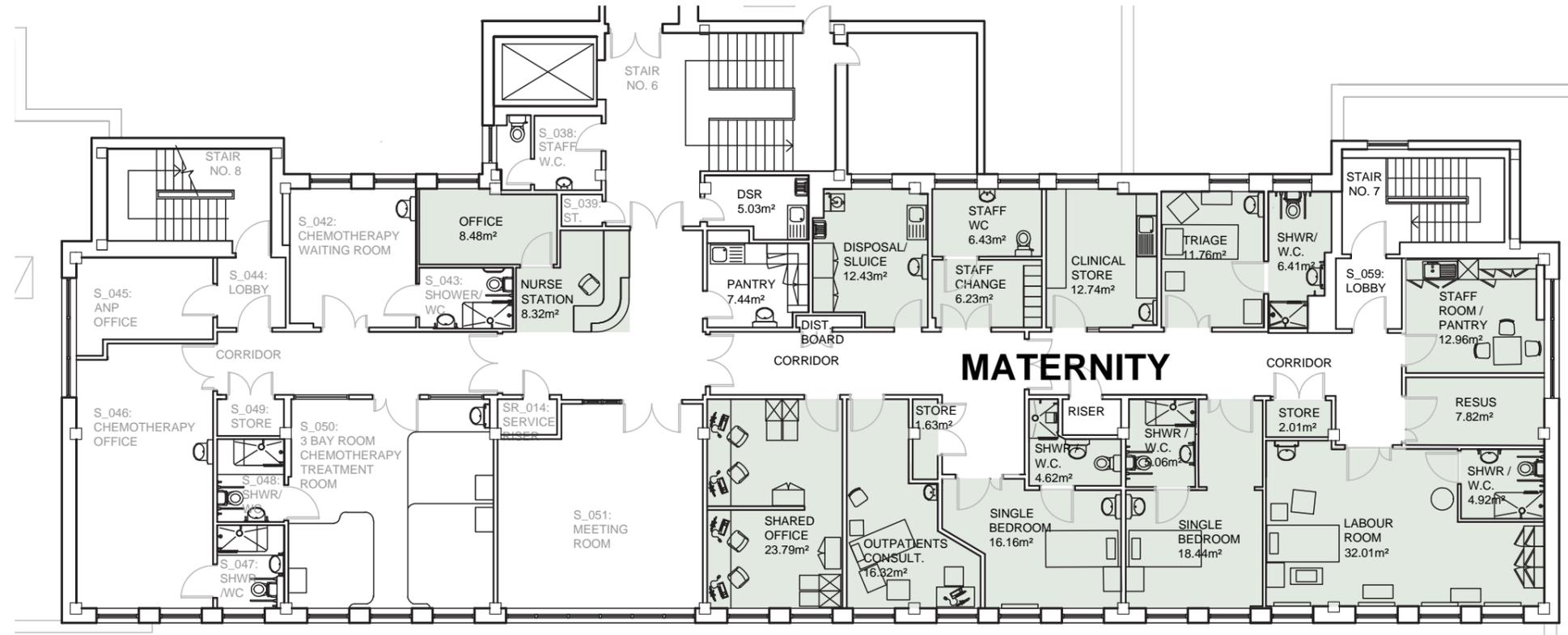
- 3 separate offices
- Labour suite privacy
- Less noise impact

Cons

- No bereavement suite provided
- Triage access to labour suite awkward

4.1 Maternity Decant Option 2 [247.507m²]

RIBA Stage 2 OPTION 2



24069A GBH Cladding Remedials

Department Decants

MATERINITY		MINIMUM		OPTION 2 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	26.3	2	34.6
En-suite	2	4.85	9.7	2	9.68
Triage Room & En-suite	1	21.79	21.79	1	18.17
Labour Room	1	17.37	17.37	1	32.01
Paediatric Resus	1	12.41	12.41	1	7.82
Nurse Station	1	7.94	7.94	1	8.32
Outpatients Consultant Room	1	10.4	10.4	1	16.32
SUB TOTAL			105.91		126.92
Disposal Room	1	8.94	8.94	1	12.43
Sluice/Test	1	6.84	6.84	1	-
Store	2	3.38	6.76	2	3.64
Clinical Store	1	9.39	9.39	1	12.74
Shower Room	1	7.18	7.18	1	4.92
SUB TOTAL			39.11		33.73
Staff Change & WC	1	9.63	9.63	1	12.66
Office	2	9.66	19.32	2	32.27
Staff Room/Pantry	1	16.42	16.42	1	12.96
SUB TOTAL			45.37		57.89
TOTAL			190.39		218.54
Circulation/Plant Allowance 30%			57.12		
GRAND TOTAL			247.507		

Pros

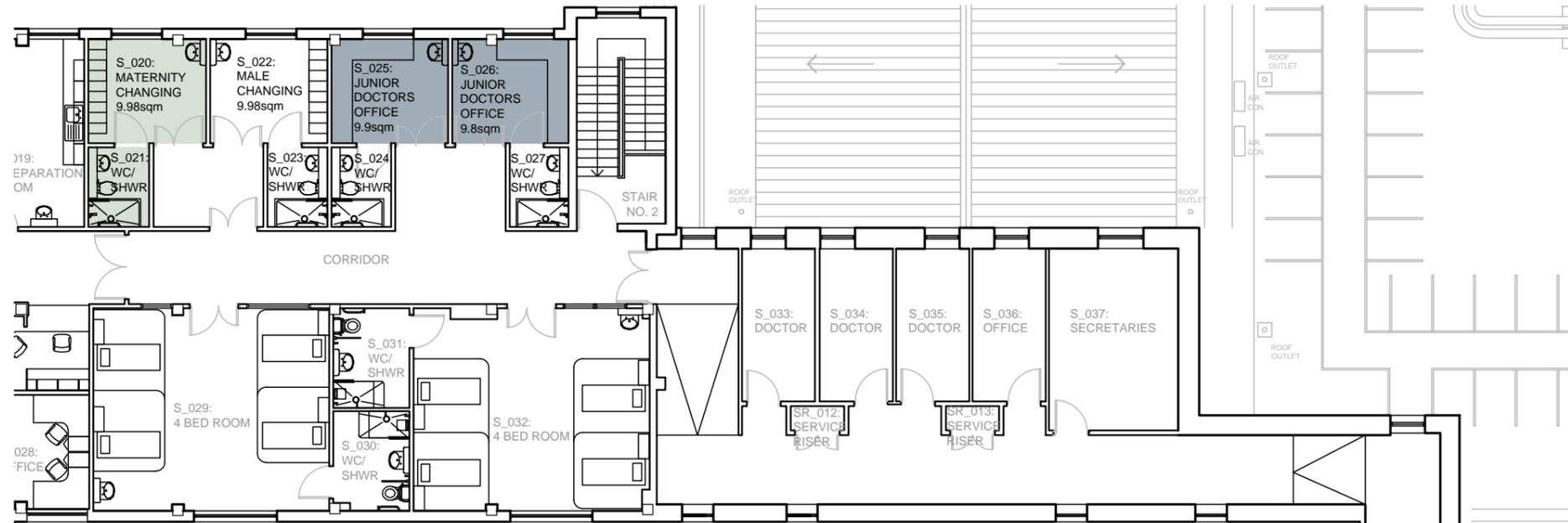
- Resus can be accessed separately
- Labour suite more private
- Overnight rooms more spacious

Cons

- Shared office lacks privacy
- Staff room too close to labour suite
- Overnight rooms cant be easily secured
- Meeting room to be relocated
- Staff Office

4.1 Maternity Decant Option 2a [247.507m²]

RIBA Stage 2 OPTION 2a (preferred option)



Pros

- Resus provision is larger
- Resus can be accessed separately
- Labour suite is more private
- Overnight rooms more spacious
- Maternity changing facilities provided separately to allow for a more spacious provision
- Bereavement suite provided

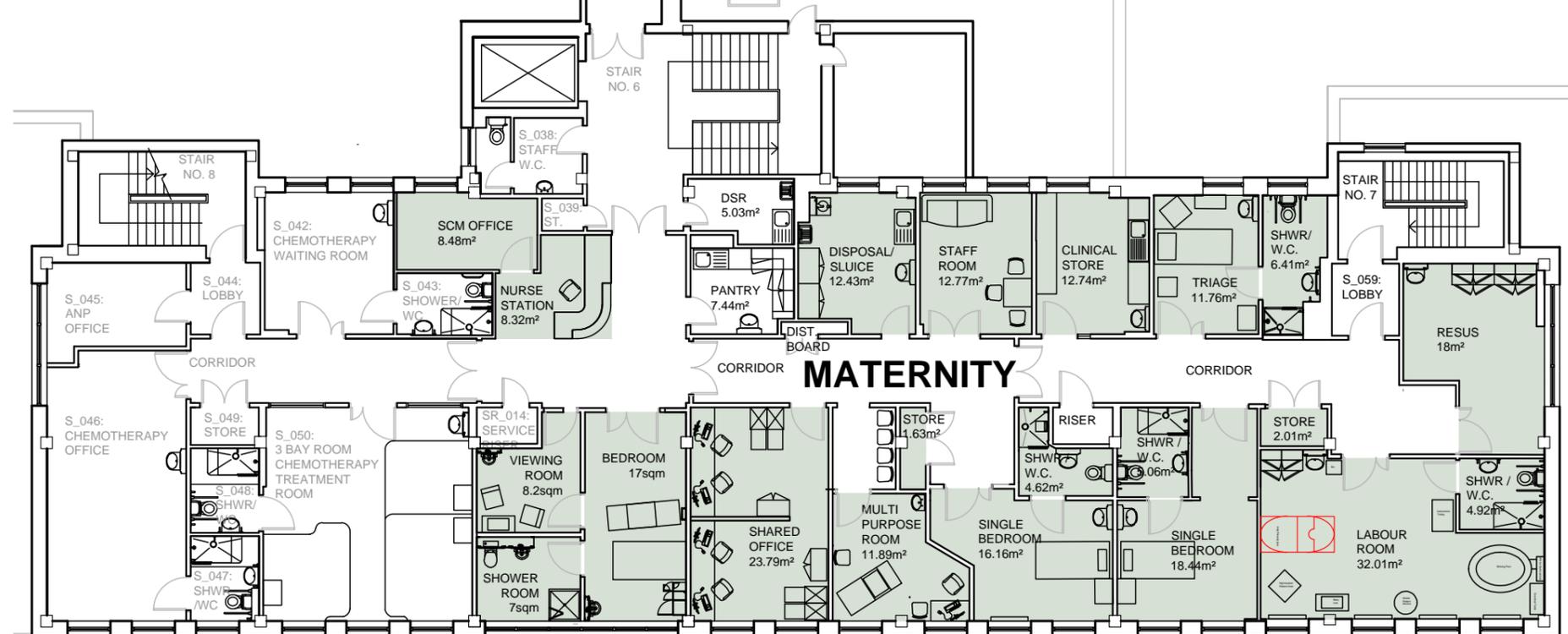
Cons

- Shared office lacks privacy
- Smaller Staff room provision

24069A GBH Cladding Remedials

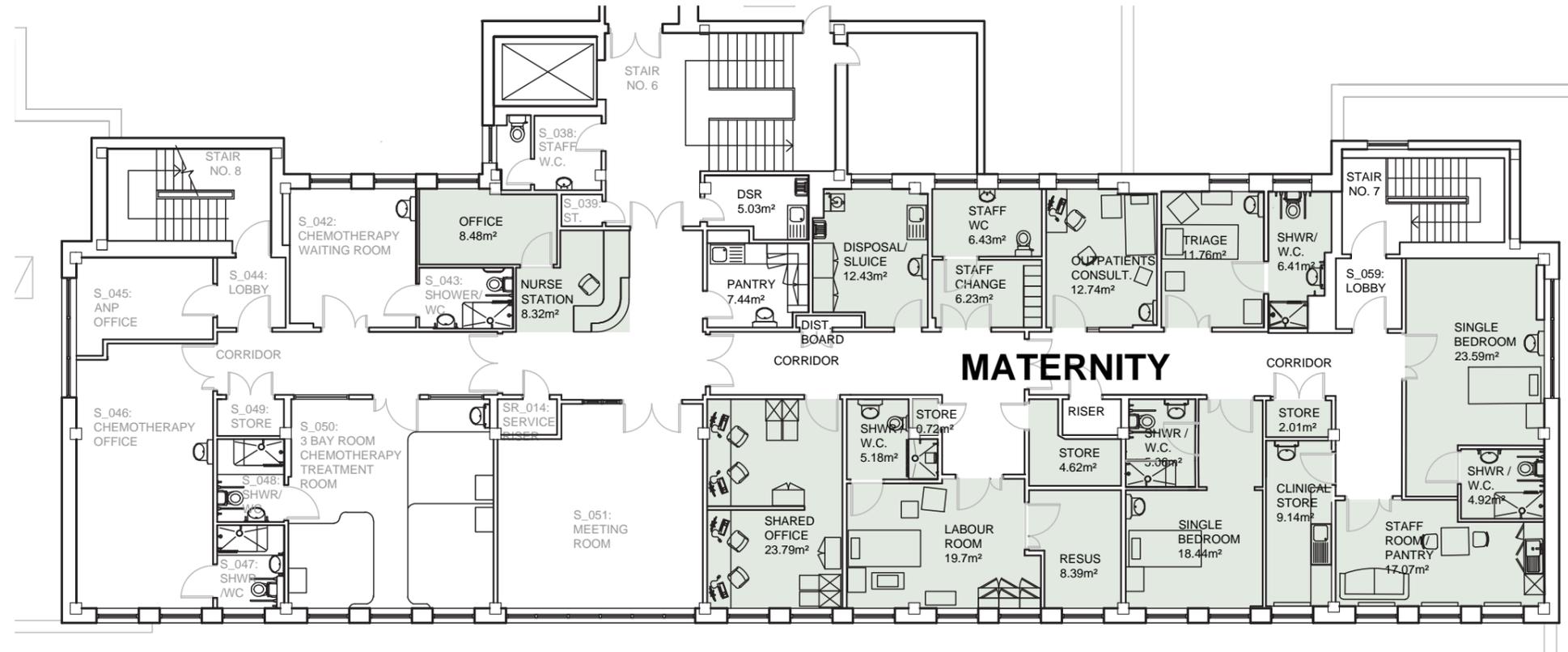
Department Decants

MATERNITY		MINIMUM		OPTION 2 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	26.3	2	34.6
En-suite	2	4.85	9.7	2	9.68
Triage Room & En-suite	1	21.79	21.79	1	18.17
Labour Room	1	17.37	17.37	1	32.01
Paediatric Resus	1	12.41	12.41	1	18
Nurse Station	1	7.94	7.94	1	8.32
Outpatients Consultant Room	1	10.4	10.4	1	11.89
SUB TOTAL					132.67
Disposal Room	1	8.94	8.94	1	12.43
Sluice/Test	1	6.84	6.84	1	-
Store	2	3.38	6.76	2	3.64
Clinical Store	1	9.39	9.39	1	12.74
Shower Room	1	7.18	7.18	1	4.92
SUB TOTAL					33.73
Staff Change & WC	1	9.63	9.63	1	-
Office	2	9.66	19.32	2	32.27
Staff Room/Pantry	1	16.42	16.42	1	12.77
SUB TOTAL					45.04
TOTAL					211.44
Circulation/Plant Allowance 30%			57.12		
GRAND TOTAL			247.507		



4.1 Maternity Decant Option 3 [247.507m²]

RIBA Stage 2 OPTION 3



24069A GBH Cladding Remedials

Department Decants

MATERINITY				MINIMUM				OPTION 3 ACTUAL			
Room Type	No.	Area per room SQM	Total Area SQM	Room Type	No.	Area per room SQM	Total Area SQM	Room Type	No.	Area per room SQM	Total Area SQM
Single Bedroom	2	13.15	26.3	Clinical	2	20.72	42.03	Clinical	2	21.01	42.03
En-suite	2	4.85	9.7	Clinical	2	4.94	9.98	Clinical	2	4.94	9.98
Triage Room & En-suite	1	21.79	21.79	Clinical	1	18.17	18.17	Clinical	1	18.17	18.17
Labour Room	1	17.37	17.37	Clinical	1	19.7	19.7	Clinical	1	19.7	19.7
Paediatric Resus	1	12.41	12.41	Clinical	1	8.39	8.39	Clinical	1	8.39	8.39
Nurse Station	1	7.94	7.94	Clinical	1	8.32	8.32	Clinical	1	8.32	8.32
Outpatients Consultant Room	1	10.4	10.4	Clinical	1	12.74	12.74	Clinical	1	12.74	12.74
SUB TOTAL			105.91				119.33				119.33
Disposal Room	1	8.94	8.94	Ancillary	1	12.43	12.43	Ancillary	1	12.43	12.43
Sluice/Test	1	6.84	6.84	Ancillary	1	-	-	Ancillary	1	-	-
Store	2	3.38	6.76	Ancillary	2	7.35	14.7	Ancillary	2	7.35	14.7
Clinical Store	1	9.39	9.39	Ancillary	1	9.14	9.14	Ancillary	1	9.14	9.14
Shower Room	1	7.18	7.18	Ancillary	1	5.18	5.18	Ancillary	1	5.18	5.18
SUB TOTAL			39.11				34.1				34.1
Staff Change & WC	1	9.63	9.63	Staff	1	12.66	12.66	Staff	1	12.66	12.66
Office	2	9.66	19.32	Staff	2	32.27	64.54	Staff	2	32.27	64.54
Staff Room/Pantry	1	16.42	16.42	Staff	1	17.07	17.07	Staff	1	17.07	17.07
SUB TOTAL			45.37				62				62
TOTAL			190.39				215.43				215.43
Circulation/Plant Allowance 30%			57.12				57.12				57.12
GRAND TOTAL			247.507				247.507				247.507

Pros

- Overnight rooms more spacious

Cons

- Shared office lacks privacy
- Office too close to labour suite
- Labour suite too central (lack of privacy)
- No bereavement suite

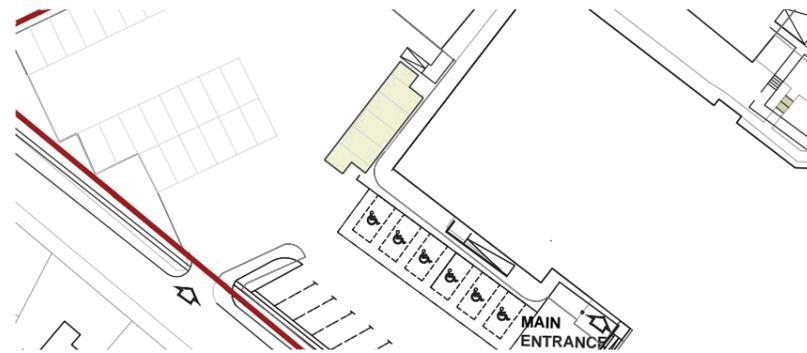
4.2 Renal Decant Option 1 [109.967m²]

The RIBA Stage 1 Report identified Option 3 (relocation to the car park of the hospital) as the preferred decant solution. This option ensures that Maternity Services remain close to other key departments such as Ultrasound and Theatres on which they depend.

During the development of RIBA Stage 2 a further option was identified which relocated the renal unit into the current SDEC area and subsequently formed the starting point for the RIBA Stage 2 conceptual design development. Various detailed option layouts have been prepared for Stakeholder consideration and Option 1 was confirmed as the preferred option.

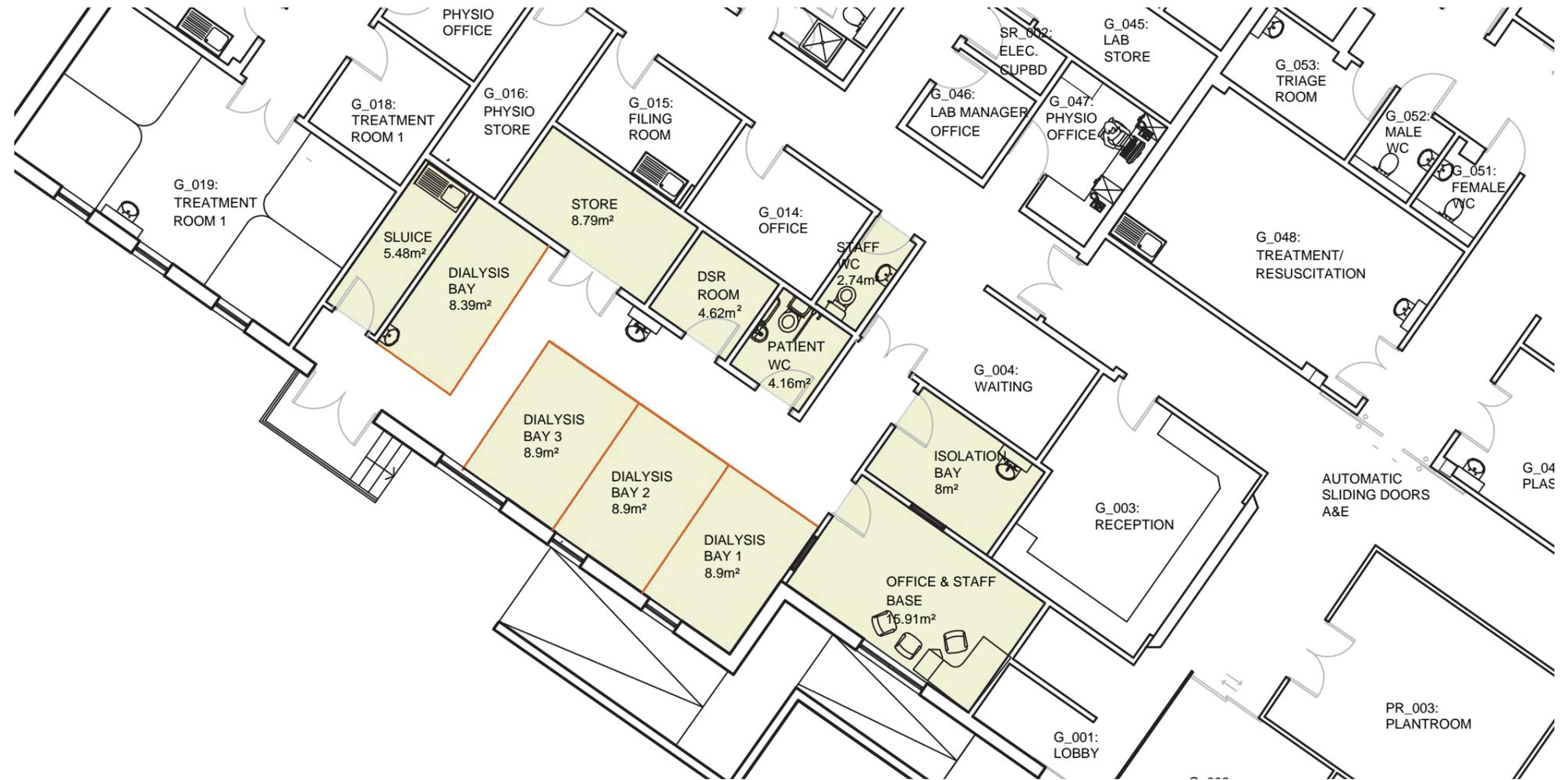
- RIBA Stage 2 Option 1
- RIBA Stage 2 Option 1a (preferred Option)
- RIBA Stage 2 Option 2
- RIBA Stage 2 Option 3

RIBA Stage 1 OPTION 3: Renal into Mobile Units



13800x4490mm
5 Bay Infusion
Mobile Unit
55.6m²

RIBA Stage 2 OPTION 1



RENAL		MINIMUM		OPTION 1 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Area per room SQM
Renal Dialysis Bay	4	7.22	28.88	Clinical	35.09
Staff Base	1	8.8	8.8	Clinical	8
Isolation Renal Bay	1	8.7	8.7	Clinical	5.48
SUB TOTAL			46.38		43.09
Sluice Room	1	3.59	3.59	Ancillary	4.16
Dis. WC	1	4.86	4.86	Ancillary	8.79
Renal Store	1	12.45	12.45	Ancillary	4.62
DSR	1	4.86	4.86	Ancillary	15.91
SUB TOTAL			25.76		23.05
Renal Office	1	12.45	12.45	Staff	15.91
SUB TOTAL			12.45		15.91
TOTAL			84.59		82.05
Circulation/Plant Allowance 30%			25.38		
GRAND TOTAL			109.967		

Pros

- Physio waiting room maintained
- Dialysis bays larger than existing

Cons

- DSR Room accessed off of corridor to dialysis bays

4.2 Renal Decant Option 1a [109.967m²]

RIBA Stage 2 OPTION 1a (preferred Option)



RENAL		MINIMUM		OPTION 1A ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Area per room SQM
Renal Dialysis Bay	4	7.22	28.88	4	35.6
Staff Base	1	8.8	8.8	1	15.91
Isolation Renal Bay	1	8.7	8.7	1	8
SUB TOTAL			46.38		
Sluice Room	1	3.59	3.59	1	4.62
Dis. WC	1	4.86	4.86	1	4.16
Renal Store	1	12.45	12.45	1	8.79
DSR	1	4.86	4.86	1	4.48
SUB TOTAL			25.76		
Renal Office	1	12.45	12.45	1	15.91
Staff Pantry	0	-	-	1	5.21
SUB TOTAL			12.45		
TOTAL			84.59		
Circulation/Plant Allowance 30%			25.38		
GRAND TOTAL			109.967		

Pros

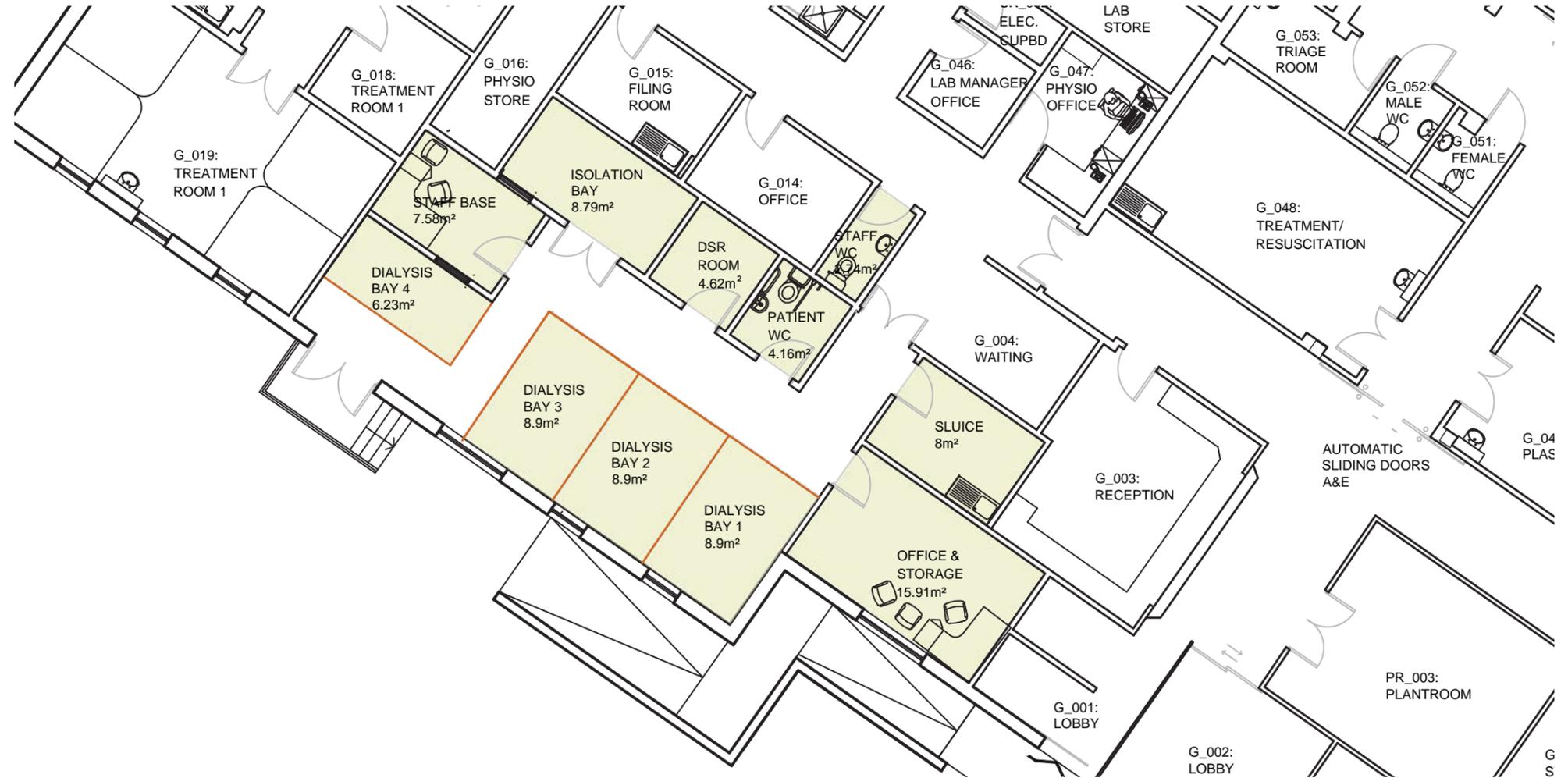
- DSR room separate from Renal Ward to allow separate access
- Dialysis bays larger than existing
- Staff pantry added

Cons

- Physio waiting room reduced in size

4.2 Renal Decant Option 2 [109.967m²]

RIBA Stage 2 OPTION 2



RENAL		MINIMUM		OPTION 2 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Renal Dialysis Bay	4	7.22	28.88	4	32.93
Staff Base	1	8.8	8.8	1	7.58
Isolation Renal Bay	1	8.7	8.7	1	8.79
SUB TOTAL			46.38		49.3
Sluice Room	1	3.59	3.59	1	8
Dis. WC	1	4.86	4.86	1	4.16
Renal Store	1	12.45	12.45	1	4.62
DSR	1	4.86	4.86	1	4.62
SUB TOTAL			25.76		16.78
Renal Office	1	12.45	12.45	1	15.91
SUB TOTAL			12.45		15.91
TOTAL			84.59		81.99
Circulation/Plant Allowance 30%			25.38		
GRAND TOTAL			109.967		

Pros

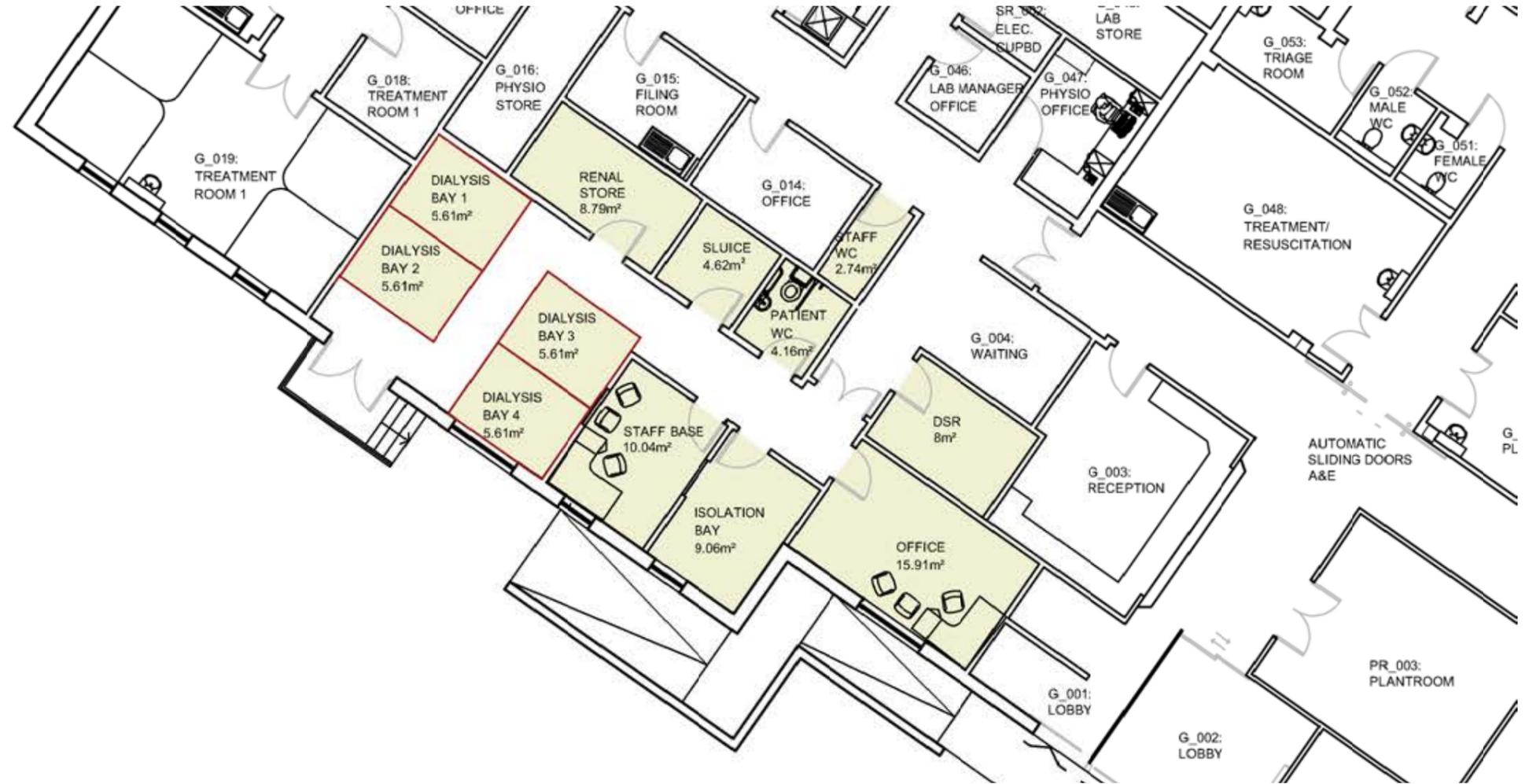
- Physio waiting room maintained
- Increased staff base accommodation

Cons

- One dialysis bay smaller than existing
- DSR room accessed off of corridor to dialysis bays
- Isolation bay accessed off of corridor to dialysis bays

4.2 Renal Decant Option 3 [109.967m²]

RIBA Stage 2 OPTION 3



RENAL		MINIMUM		OPTION 3 ACTUAL	
Room Type	No.	Area per room SQM	Total Area SQM	No.	Total Area SQM
Renal Dialysis Bay	4	7.22	28.88	4	22.44
Staff Base	1	8.8	8.8	1	10.04
Isolation Renal Bay	1	8.7	8.7	1	9.06
SUB TOTAL			46.38		41.54
Sluice Room	1	3.59	3.59	1	4.62
Dis. WC	1	4.86	4.86	1	4.16
Renal Store	1	12.45	12.45	1	8.79
DSR	1	4.86	4.86	1	8
SUB TOTAL			25.76		25.57
Renal Office	1	12.45	12.45	1	15.91
SUB TOTAL			12.45		15.91
TOTAL			84.59		83.02
Circulation/Plant Allowance 30%			25.38		
GRAND TOTAL			109.967		

Pros

- Physio waiting room maintained
- DSR room separate from Renal Ward to allow separate access

Cons

- All dialysis bays smaller than existing

4.3 Department Decants Ward 3 [524.901m²]

Following RIBA Stage 1, Option 2 which relocated Ward 3 to temporary modular accommodation within the car park of the hospital, was identified as the preferred option to take forward for RIBA Stage 2.

This option would ensure Ward 3 staff facilities are decanted alongside the bedded areas. During its development the addition of a covered link corridor connecting into the main hospital building was identified and will be incorporated into the design following coordination with the appointed modular accommodation designers.

RIBA Stage 1 OPTION 2: Ward 3 into Portacabins



16no. 9940x3460mm Portacabins

550.28m²

4.4 Department Decants Clinical Skills [208.52m²] + [33.35m²]

Following RIBA Stage 1, Option 1 which relocated Clinical skills to temporary modular accommodation within the car park of the hospital, was identified as the preferred option to take forward for RIBA Stage 2. During the RIBA Stage 2 development the junior doctors office was omitted as this will now be located elsewhere within the hospital. The addition of the existing meeting room is to be added to the required modular accommodation area, to make way for the maternity bereavement suite.

The accommodation located in temporary modular accommodation would be situated on an upper level as this would be a staff only area and does not require direct access to the main hospital building. The design of this area will be carried out by a separately appointed modular accommodation designer.

RIBA Stage 1 OPTION 1: Full Ronas Ward into Portacabins



11no. 7540x3460mm Portacabins

286.97m²

RIBA Stage 2 Option 1: Full Ronas Ward + Meeting room

CLINICAL SKILLS				
Room Type	No.	Area per room		
		SQM	Total Area SQM	
Clinical Skills Room	1	56.4	56.4	Clinical
Sim Room with Observation Space	1	25.54	25.54	Clinical
Clinical Skills Bay	2	14	28	Clinical
SUB-TOTAL				109.94
WC	2	6.13	12.26	Ancillary
Staff Kitchen	1	6.26	6.26	Ancillary
DSR	1	3	3	Ancillary
Disposal / Sluice	1	12	12	Ancillary
Store	3	2.82	8.46	Ancillary
SUB-TOTAL				41.98
Clinical Education Office	1	8.48	8.48	Staff
Meeting Room	1	33.45	33.45	Staff
SUB-TOTAL				41.93
TOTAL				193.85
Circulation/Plant Allowance 30%				58.155
GRAND TOTAL				252.01
To be provided elsewhere in Hospital				
Junior Doctors Office	1	23.8	23.8	Staff
SUB-TOTAL				23.8

4.5 Temporary Accommodation

In order to progress the procurement of Temporary Modular / Mobile Accommodation for the decanted departments, NHS Shetland have been holding biweekly meetings with the Head of Procurement and Commodity Manager at NHS Scotland Procurement.

A list of suitable suppliers for the temporary accommodation have been identified through the NHS Shared Business Service (SBS) national framework.

Issues raised to date:

- Constrained area of external space for requirements of modular build
- Displacement of existing carparking for staff, patients and visitors
- Relocation of Electric Vehicle charge points
- Derogations from standards (SHTM/ SHBN)
- Service integrations
- Configurations/ layouts versus existing clinical spaces to allow potential residual resale value of the temporary accommodation post contract
- Length of contract
- Connectivity to the main GBH building
- Escape routes and evacuation muster points
- Emergency back-up power

Next Steps

NHS Shetland have commenced the process of procurement and will invite suitable framework suppliers to enter a mini tender competition. A scope and drawings for Ward 3/Clinical Services will be issued on 14th July 2025, with the submission of tenders 6 weeks later on 25th of August. Following a 2 week evaluation period and 2 week standstill period, awards will be issued on the 22nd of September, with the appointed Temporary Accommodation providers commencing detailed designs by 29th of September 2025. The master programme is targeting a Planning Submission target date for all Modular Accommodation by 13th of November 2025 and critically a Building Warrant submission date of 18th December.



Image Caption: Portakabin



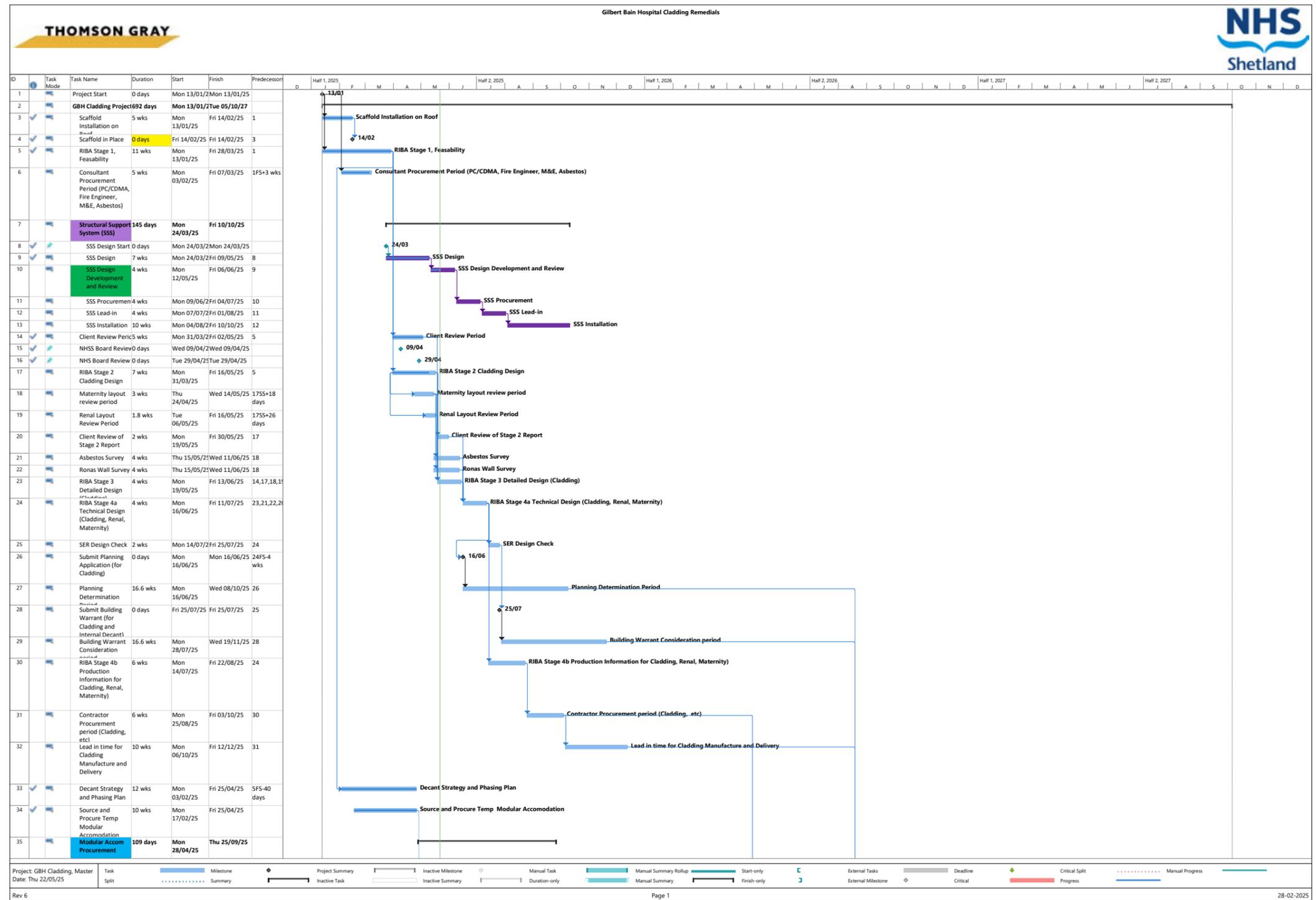
Image Caption: Vanguard

An aerial photograph of a residential neighborhood, showing streets, houses, and a large parking lot. The image is overlaid with a large white number '7' and the word 'Appendices' in a bold, white, sans-serif font. A vertical white line separates the number from the text.

7 | Appendices

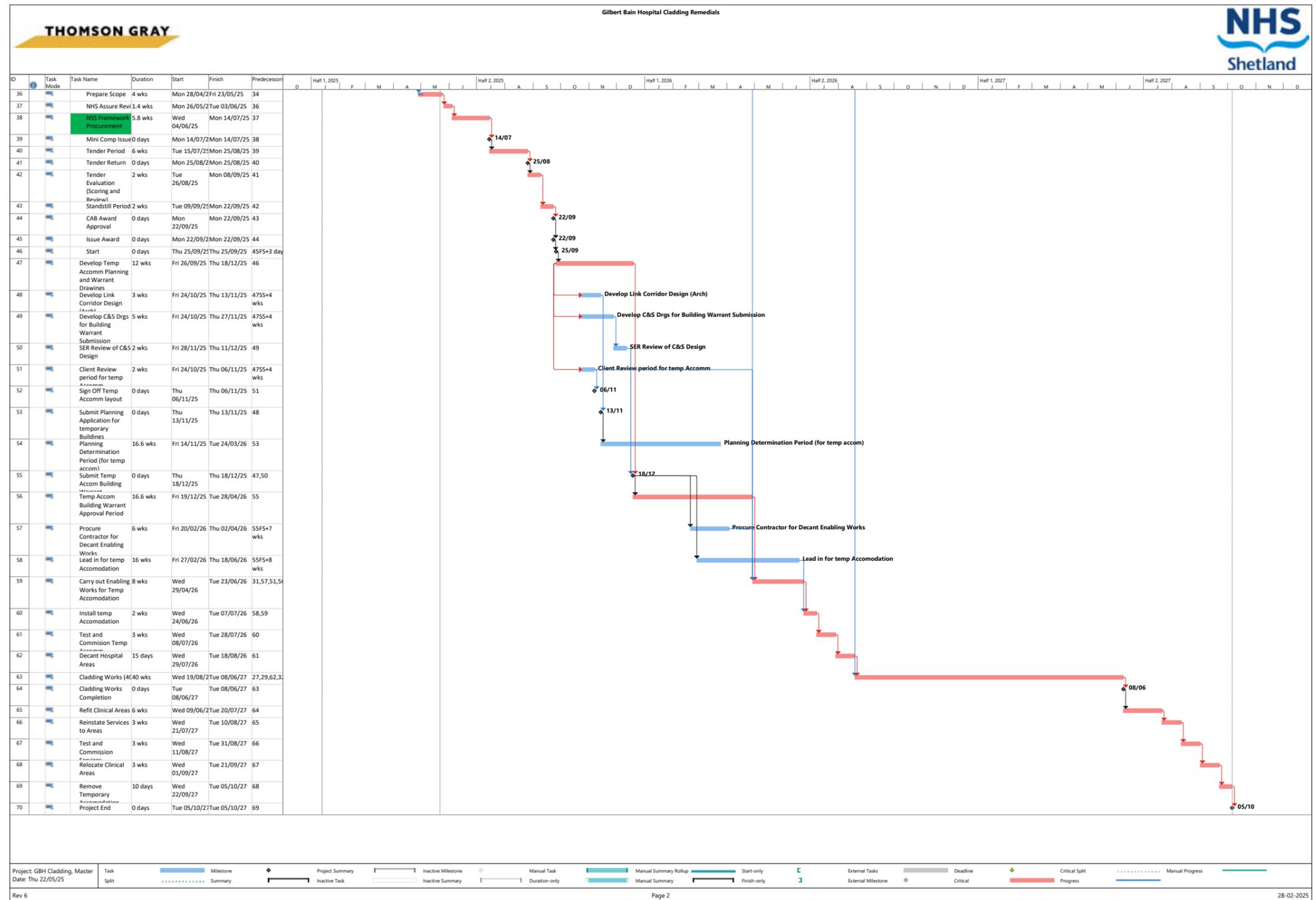
7.1 Pre-Construction Programme

GBH Cladding, Master Programme, 23-05-2025, Rev 7 prepared by Thomson Gray (Project Manager)



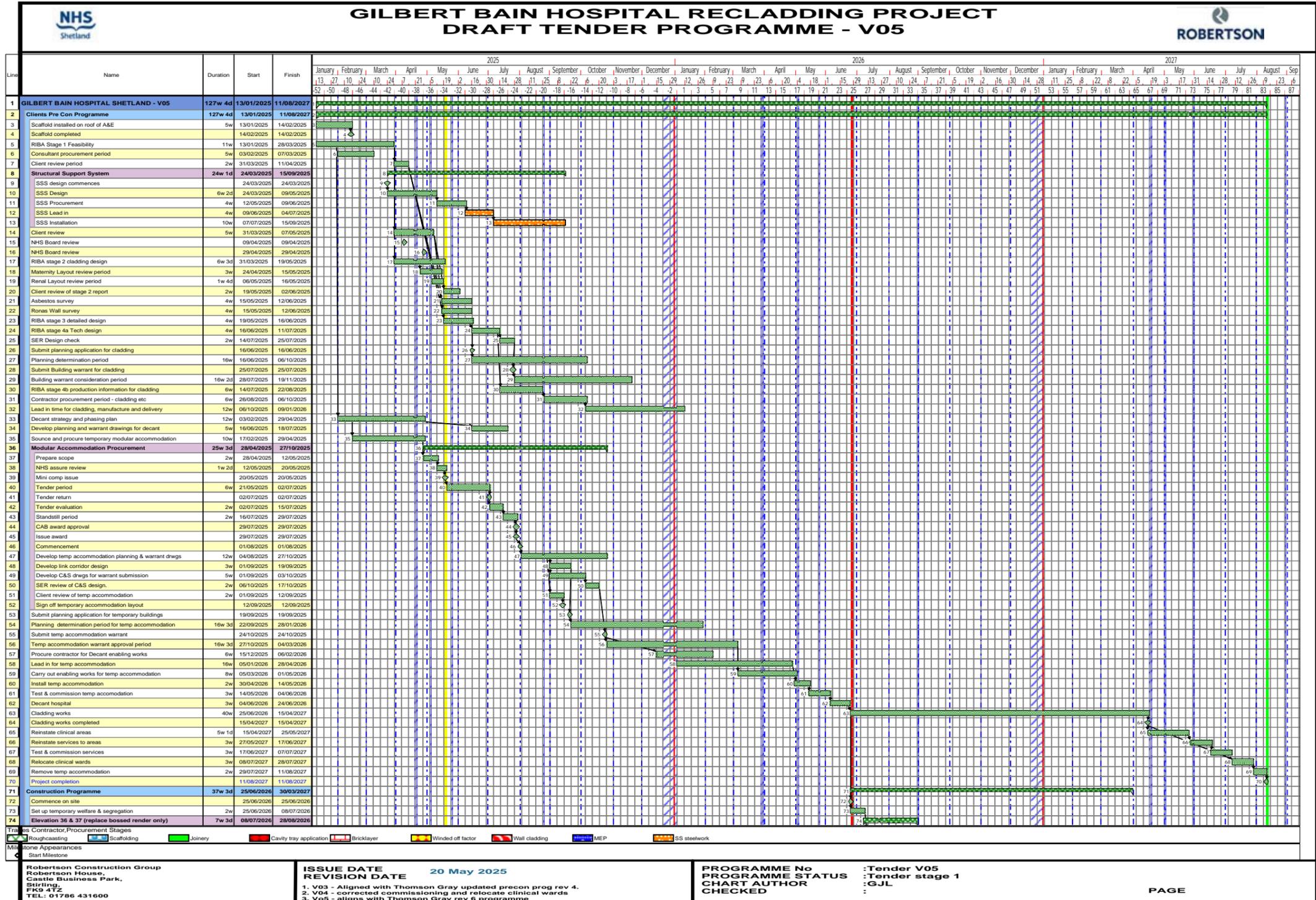
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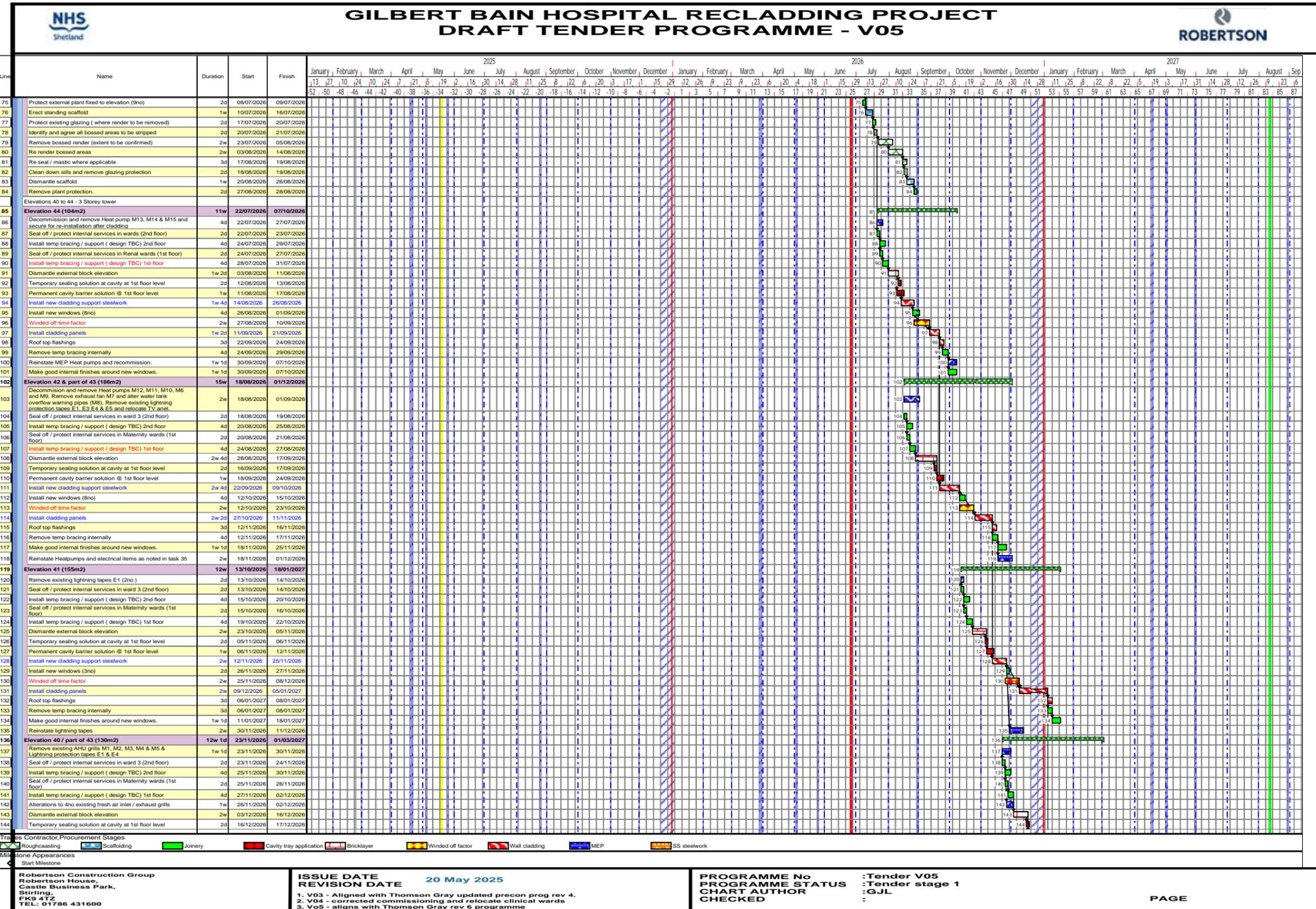


7.2 Draft Construction Programme

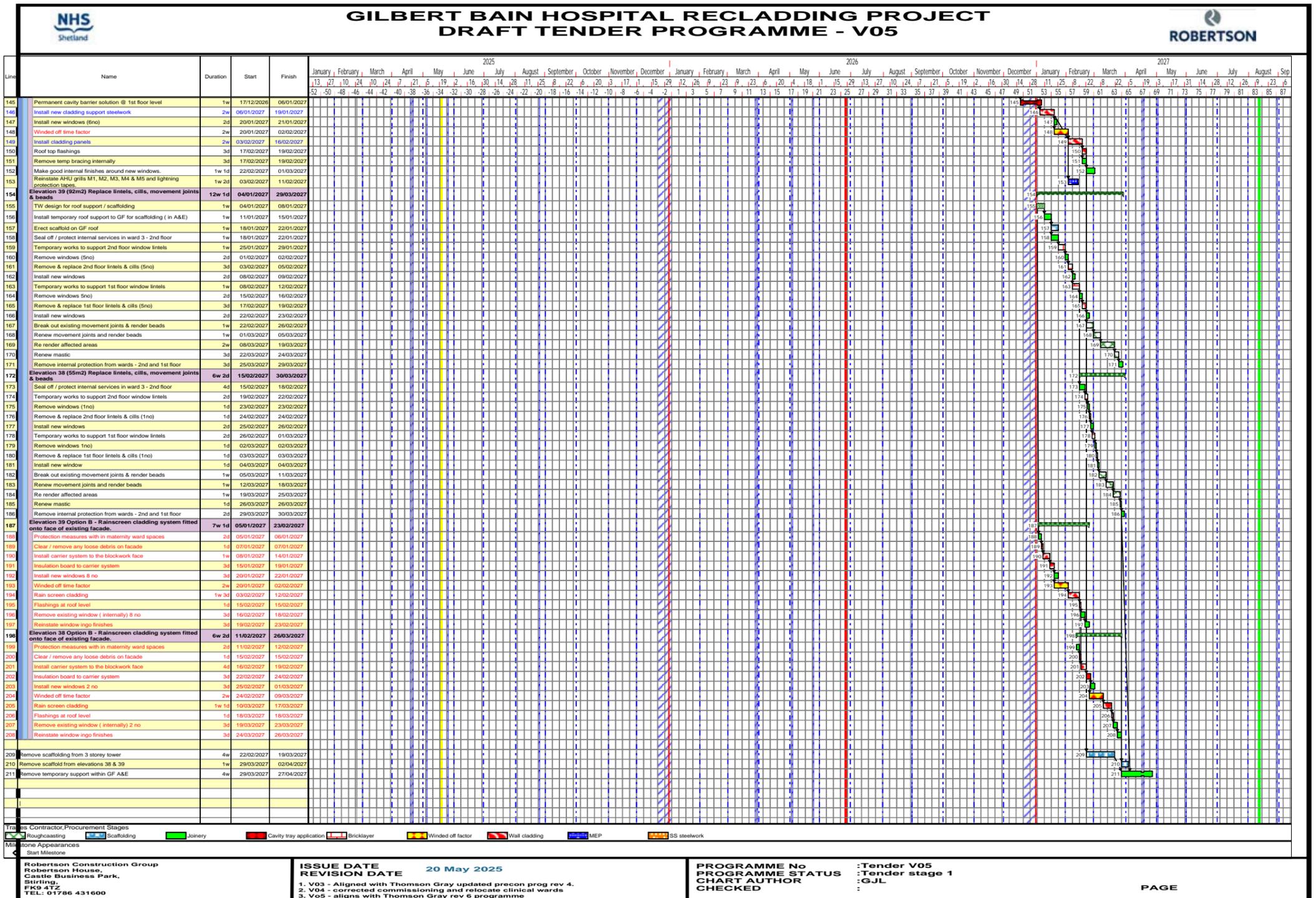
Draft Programme V
 V5 20 May 25 prepared by
 Robertson Construction
 Group (Advising Contractor)



7.2 Draft Construction Programme



7.2 Draft Construction Programme



Robertson Construction Group
Robertson House,
Castle Business Park,
Stirling,
FK9 4TZ
TEL: 01786 431600

ISSUE DATE 20 May 2025
REVISION DATE

1. V03 - Aligned with Thomson Gray updated pre-con prog rev 4.
2. V04 - corrected commissioning and relocate clinical wards
3. V05 - aligns with Thomson Gray rev 6 programme

PROGRAMME No : Tender V05
PROGRAMME STATUS : Tender stage 1
CHART AUTHOR : GJL
CHECKED :

7.3 Project Risk Register

GBH Cladding Risk Register
08-05-2025 Rev 3 prepared
by Thomson Gray (Project
Manager)

RISK REGISTER	
Project Title	Gilbert Bain Cladding Remedials
Revision No.	Rev 3, 08-05-2025
Risk Champion	David Wagstaff - NHSS Project Director

↑	Risk Score Increase
↔	Risk Score no Change
↓	Risk Score Decrease

Ref No:	Type	Workstream	Risk Description	Prior to Mitigation			Mitigation	Post Mitigation			Variance Since Previous	Risk Owner	Risk/Mitigation Manager	Action Date	Comments
				Probability (1-5)	Impact (1-5)	Risk Rating (1-25)		Probability (1-5)	Impact (1-5)	Risk Rating (1-25)					
1	Stakeholder	Decant	Inadequate Stakeholder Engagement or Design; May fail to engage with stakeholders or stakeholders are unable to dedicate adequate time for design.	2	4	8	Identify key stakeholders and negotiate appropriate time. Programming stakeholder time in advance in line with availability (6 weeks where possible for clinical staff).	1	4	4	↔	NHS	David Wagstaff		08-05-2025 Maternity na dRenal Options to be confirmed.
2	Design	Decant/Cladding	Lack of existing site survey information at appointment of Contractor	3	4	12	As built information is being sought. Some external surveys have been carried out	3	4	12	↔	NHS	David Wagstaff		08-05-2025- Digital infor for cladding- infor has come from recent survey- Strut openings (windows, etc) may need to be confirmed. Flexibility and tolerance in cladding to be "built in". Record floor plans were taken from original plans. There are some discrepancies with this, tbc. 27-02-2025 Further decant and enabling surveys are required to old part of hospital. Asbestos register to be circulated. RONAS etc will need an asbestos refurb survey carried out. No intrusive work has been carried out. Chosen option info from 360 will advise areas to be surveyed. Services info may need to be reviewed but MRI project provided info for the west car park area. Water and drainage are known to be in this area.
3	Brief	Decant/Cladding	Insufficient parking in car park following installation of temporary accommodation and contractor compound and safety cordon..	4	4	16	Alternative locations to be identified for temporary accommodation or parking..	2	3	6	↔	NHS	David Wagstaff		27-02-2025 Parking to be designated for patients and visitors- off site parking may be required for staff, with transport plan (shuttle busses?). To be included in cost plan. Contractor will need to provide transport/delivery schedule.
4	Construction/Cost	Cladding	Adverse weather delays work.	4	4	16	Weather allowance to be incorporated into programme and costs	3	4	12	↔	NHS	David Wagstaff		27-02-2025 Contractor to provide programme including weather allowances as tasks for deliveries and works. Materials deliveries on ferries can be delayed by weather. Knock on delays for rebooking. This may affect temp accommodation and cladding deliveries.
5	Site	Cladding	Ingress of rain water to ground floor once outer leaf of wall removed causes disruption to services in Outpatients department	4	5	20	Implications of removal of the outer leaf to be established during design and solution identified. Contractor to be engaged to assist in identifying a solution to this issue.	2	3	6	↔	Contractor	TBC		27-02-2025 Possible Tyvek layer may assist.
6	Design	Cladding	Wind affects inner leaf of walls following removal of the outer leaf.	4	3	12	Suitability of internal walls to be considered prior to exposing and suitable method of supporting identified.	2	3	6	↔	NHS	David Wagstaff		27-02-2025 MM and Robertson to liaise and review.
7	Contractor	Cladding	Works cause damage to ground floor roof.	3	5	15	Contractor to review suitability RAMS for keeping water out of the areas of the building that remain.	1	5	5	↔	Contractor	TBC		27-02-2025 Contractor RAMS to be developed.
8	Site	Decant	Loss of continuity of (affected) clinical services during the relocation or construction phases.	4	5	20	Robust planning of relocation strategy to be undertaken.	2	5	10	↔	NHS	David Wagstaff		27-02-2025 Ongoing- regular meetings with stakeholders.
9	Site	Cladding	Externally mounted plant serves unaffected areas of the building leading to additional works to maintain services.	3	5	15	Detailed investigation and surveys to be carried out prior to works to determine the areas served by external items of plant (eg air conditioning plant, etc)	1	5	5	↓	NHS	David Wagstaff		08-05-2025 Post mitigation score revised. 27-02-2025 Engagement of M&E consultant to review.
10	Cost	Decant	Costs of proposed solution are greater than cost estimate.	4	3	12	Regular reviews to be undertaken to ensure cost estimate is valid.	5	5	25	↑	NHS	David Wagstaff		08-05-2025 Decant sepatared from Cladding. Highest risk commercially. Post mitigation score revised. 27-02-2025 Unknowns will affect the costs, once site works start, once absolute detail is known.
11	Programme	Decant	Decant strategy and procurement of accommodation takes longer than expected to develop leading to project delays.	4	3	12	Early stakeholder engagement to be undertaken to develop robust strategy	5	4	20	↑	NHS	David Wagstaff		08-05-2025 Post mitigation score revised. 27-02-2025 Procurement has started and supply chain engagement is underway to identify what accommodation is available.

7.3 Project Risk Register

RISK REGISTER	
Project Title	Gilbert Bain Cladding Remedials
Revision No.	Rev 3, 08-05-2025
Risk Champion	David Wagstaff - NHSS Project Director

↑	Risk Score Increase
↔	Risk Score no Change
↓	Risk Score Decrease

Ref No:	Type	Workstream	Risk Description	Prior to Mitigation			Mitigation	Post Mitigation			Variance Since Previous	Risk Owner	Risk/Mitigation Manager	Action Date	Comments
				Probability (1-5)	Impact (1-5)	Risk Rating (1-25)		Probability (1-5)	Impact (1-5)	Risk Rating (1-25)					
12	Site	Decant/Cladding	Increased traffic movements during construction, including requirements for materials handling, etc., cause disruption.	5	4	20	Contractor to develop delivery schedule and programme deliveries outwith peak periods.	2	5	10	↔	Contractor	Contractor		08-05-2025 Possible on site storage for cladding 27-02-2025 Traffic management plan. Peak period to be identified/ defined. Liaison with management team in hospital for future deliveries. Blue light route to be protected at all times
13	Brief	Decant	Clinical Brief; May fail to define appropriately the clinical need resulting in change.	3	4	12	Output specifications drawn up with users and signed off. Revisions will follow same process. Clinical leads to review clinical need based on service history and projected demand.	1	4	4	↔	NHS	David Wagstaff		27-02-2025 Liaison ongoing
14	Brief	Decant	Management of Expectations (Clinical Brief) Planned temporary facilities do not meet expectations of public, staff, clinicians, NHS, etc. Impacting reputation & Service Delivery Impact.	2	3	6	Stakeholder engagement to be included in the programme.	1	3	3	↔	NHS	David Wagstaff		27-02-2025 Liaison ongoing
15	Site	Decant	Lack of power and other services for temporary clinical accommodation to accommodate all planned buildings resulting in programme delay and increased project cost.	2	4	8	Load capacity check to be carried out on existing power supply to determine the availability of power for temporary facilities.	2	4	8	↔	NHS	David Wagstaff		27-02-2025 M&E consultant to be engaged.
16	Stakeholder	Decant/Cladding	NHS SCIM process including NDAP, KSAR, etc is not required for the project. Confirmation that this is not required should be confirmed. Current programme and scope assumes that there is no requirement to follow the SCIM process. Implementation of this process will have an impact on the programme.	3	3	9	Confirmation of requirements to be confirmed as soon as possible. NHS Assure to be included and updated throughout the programme. NHS Assure to be invited to meetings as required.	3	4	12	↑	NHS	David Wagstaff		08-05-2025 Post mitigation score revised 27-02-2025 Process does not exist but advice can be sought as required, via NHS Assure.
17	Governance	Decant/Cladding	Poor definition of roles, responsibilities and communication routes/paths leading to unfulfilled roles and responsibilities.	2	3	6	Robust governance structures agreed. Terms of Reference, internal matrices and appointment documents in place for the project. PEP developed.	1	3	3	↔	NHS	David Wagstaff		08-05-2025 RACI Matrix to be developed. PEP has been approved by NHS Board. 27-02-2025 PEP development underway.
18	Design	Decant/Cladding	Contractor may fail to identify and address site constraints (environmental concerns, ground conditions, public access, car parking, transport).	3	3	9	Contractor to undertake site surveys to confirm site conditions and constraints and develop RAMS accordingly.	2	2	4	↔	Contractor	Contractor		27-02-2025 Ongoing, and will be developed along side proposals.
19	Governance	Decant	Fire Strategy does not match NHS Fire Officer and Building Control and Fire Code requirements.	2	3	6	Fire strategy for temporary accommodation to be developed an approved prior to installation.	2	3	6	↔	Architect/Fire Engineer	Fire Engineer		08-05-2025 Fire Engineer engaged. 27-02-2025 Fire Consultant to be engaged
20	Governance	Decant/Cladding	NHS Scotland Assure do not support the project.	3	4	12	NHSScotland Assure are providing support to NHS Shetland in an informal basis and no formal process is being followed (i.e. NDAP or KSAR) therefore there is no risk that NHSScotland Assure will affect the programme.	1	4	4	↔	NHS	David Wagstaff		19-03-2025 AW advised in an email that this is not a risk (see mitigation comment). Post mitigation risk rating probability reduced from 2 to 1. 27-02-2025 Advice to be sought as to whether this is relevant.
21	Site	Decant/Cladding	Disruption to blue light routes.	2	5	10	Contractor to plan deliveries (delivery schedule), suitable traffic management and clear supplier driver instructions to be developed if required.	1	4	4	↔	Contractor / NHS	Contractor/David Wagstaff		27-02-2025 Contractor TM plan and site TM plan to be reviewed.
22	Site	Decant/Cladding	Issues with pedestrian / vehicle / cyclist interface and routes	3	3	9	Ensure a robust Contractor traffic management plan is in place. Plan deliveries, suitable traffic management and clear supplier driver instructions to be developed.	1	4	4	↓	Contractor	Contractor		08-05-2025 Post mitigation score revised 27-02-2025 Contractor TM plan and site TM plan to be reviewed.
23	Governance	Decant/Cladding	Approval of Planning application by Shetland Islands Council may impact design, cost and/or programme	4	3	12	Commence engagement as early as possible with Shetland Islands Council.	2	3	6	↔	NHS	David Wagstaff		27-02-2025 Programme currently allows adequate time to achieve Planning Permission. 360 have submitted initial request to Planning with areas of decant and cladding proposals.
24	Governance	Decant/Cladding	Approval of Building Warrant application by Shetland Islands Council may impact design, cost and/or programme	4	3	12	Commence engagement as early as possible with Shetland Islands Council.	3	3	9	↑	NHS	David Wagstaff		08-05-2025 Post mitigation score revised. Lack of understanding from modular suppliers may cause delay. 27-02-2025 Programme has currently allows adequate time to achieve Building Control approval.
25	Governance	Decant/Cladding	Project Team Continuity including clinical team and project team (both client and lead advisor teams).	3	3	9	Ensure handover processes are prepared and implemented. Documentation to detail decision making processes internally and find suitable alternatives.	1	2	2	↓	NHS	David Wagstaff		08-05-2025 Post mitigation score revised

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26	Governance	Decant/Cladding	External communications management – reputational damage if not managed appropriately.	2	3	6	Appointment of dedicated Comms Manager by NHS.	1	2	2	↓	NHS	David Wagstaff		08-05-2025 Post mitigation score revised 27-02-2025 Comms team/ corporate services manager will cover public comms.
27	Governance	Decant/Cladding	Business case not supported by Scottish Government due to wider public sector budgetary pressures	3	5	15	Continued engagement with Scottish Government / NHS project board.	1	5	5	↓	NHS	David Wagstaff		08-05-2025 Post mitigation review. 27-02-2025 Project supported to the end of March. To be reviewed.
28	Governance	Decant/Cladding	Business case not supported by Scottish Government due to exceeding current budget allocation	2	5	10	Initial Cost Plan currently being undertaken and OB Workshop completed. NHS to take updated costs once provided and progress through internal governance process.	2	5	10	↔	NHS	David Wagstaff		27-02-2025 Unknowns will affect the costs, once site works start, once absolute detail is known.
29	Governance	Decant/Cladding	Delay in internal assurance and governance process impacts programme for delivery due to resource pressures	3	4	12	Confirm NHS committee / meeting dates in advance including when inputs are due, and allocate realistic duration for governance processes within the programme.	1	4	4	↓	NHS	David Wagstaff		08-05-2025 Post mitigation score revised 27-02-2025 Multiple Programme Boards. New clinical areas being established as part of decant will need to be passed through Infection control. Temp facilities will need allowance in programme for test commissioning, water testing period to be included in decant programme. Also to be included at the end of the programme prior to return to accommodation.
30	Brief	Decant/Cladding	Employers Brief document hierarchy not suitably defined leading to ambiguity in Works Information	3	3	9	Project Team will review the briefing information prior to issue to the Contractor. Hierarchy of documentation to be detailed within the Technical Brief or other documentation.	1	3	3	↓	NHS	David Wagstaff		08-05-2025 Stage 1 is being used as the Brief. Post mitigation score revised. 27-02-2025 RIBA stage reports will be the brief for the project. Info required following this will be determined by the procurement route. If Board do not accept proposals then procurement will be delayed.
31	Site	Decant/Cladding	Potential access issues may be encountered preventing proposed site surveys to be progressed by Contractor	3	3	9	Plan any surveys in advance and seek approval from necessary stakeholder.	1	3	3	↔	Contractor / NHS	TBC / David Wagstaff		
32	Site	Decant/Cladding	Affect of temporary accommodation/contractors compounds (including services installation, vehicle movements, etc) on the car park surfacing, etc.	4	3	12	Area to be monitored during works. Possible resurface/remedial works may be required.	2	4	8	↔	NHS	David Wagstaff		27-02-2025 Dilapidation survey to be carried out prior to occupying these areas.
33	Site	Decant	Workforce pressures may impact the nature of any decant proposals as staff teams can't be split across additional sites unless their numbers are increased – and the island location makes this more difficult to manage	4	3	12	Where teams are to move, whole teams to be moved to same location and not split across locations. .	2	3	6	↓	NHS	David Wagstaff		08-05-2025 Post mitigation score revised 27-02-2025 360 to consider decant strategy.
34	Site	Decant	Delayed patient discharges can account for up to 30% higher bed requirements. If we can reduce delayed discharges, we can reduce the number of beds required in the decant, therefore reduce the areas required. If delayed discharges go up, pressure on bed numbers for any decant will increase	4	3	12	Under review at present- to be updated.	2	3	6	↓	NHS	David Wagstaff		08-05-2025 Some beds to be reopened to increase capacity during the project. Post mitigation score revised.
35	Contractor	Decant/Cladding	On island availability and cost of accommodation for contractors may be a significant challenge	4	3	12	Early booking of accommodation to be carried out by contractor.	3	4	12	↔	Contractor	Contractor		
36	Contractor	Decant/Cladding	Ferry space for deliveries may be a challenge.	4	3	12	Early booking of ferries to be carried out by contractor.	3	3	9	↔	Contractor	Contractor		
37	Contractor	Cladding	Noise and vibration may disrupt the hospital	5	4	20	Works are close to patient areas. Noisy working times to be agreed with clinical staff on a daily basis Decant of patients directly adjacent to work areas is planned.	2	3	6	↔	Contractor	Contractor		08-05-2025 Previous methodology for drilling works to be utilised.

7.3 Project Risk Register

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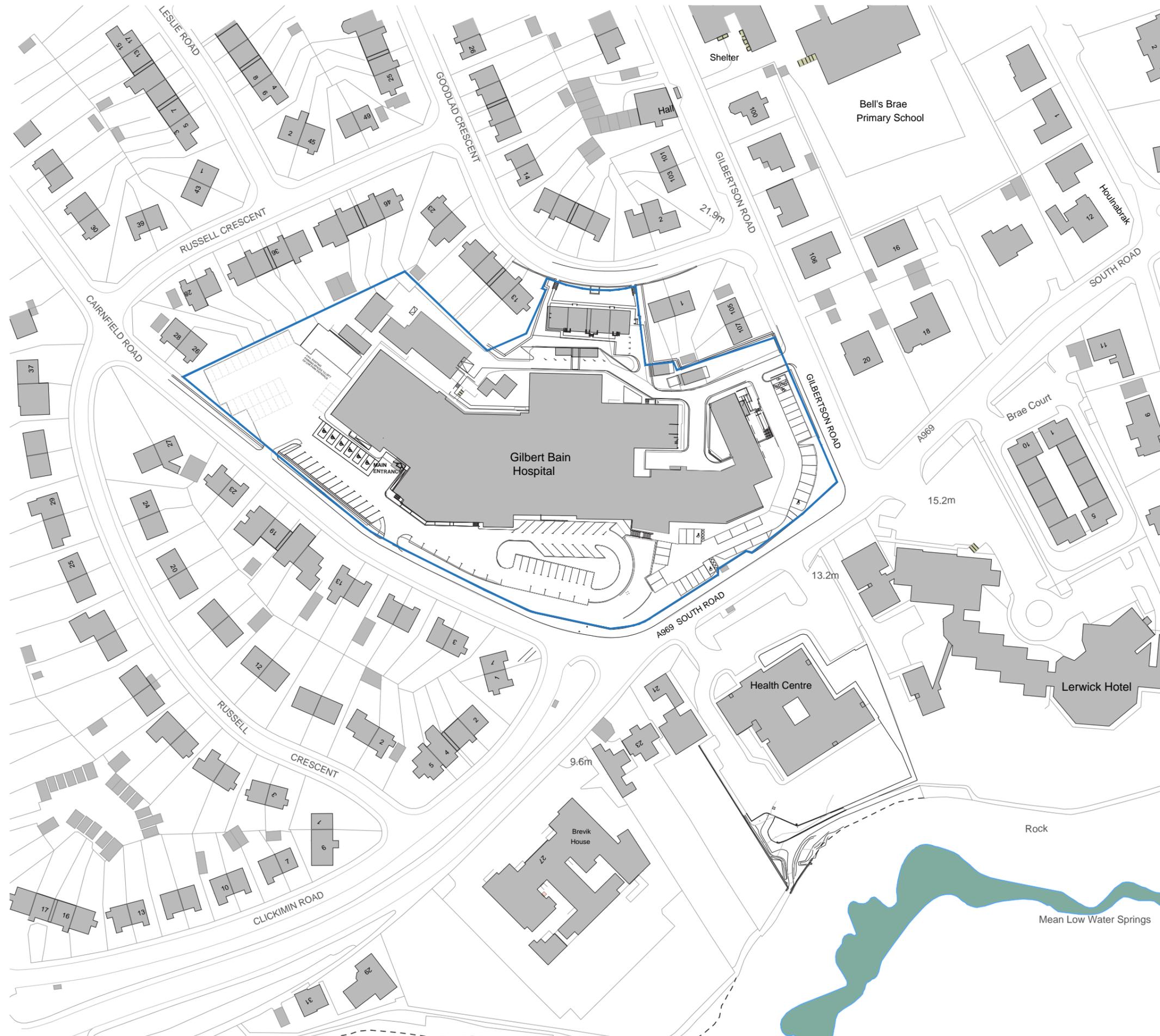
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38	Contractor	Cladding	Patient privacy may disrupt the scheduling of the construction works	5	4	20	Window film to be considered for privacy Decant of patients directly adjacent to work areas is planned.	2	3	6	↔	Contractor	Contractor		
39	Contractor	Cladding	Ward 3 Lift and thoroughfare must be maintained for ward access and contingency and evacuation purposes.	3	4	12	Contractor RAMS to be developed to keep this area clear. First floor roof access to be planned from external areas.	1	3	3	↔	Contractor	Contractor		
40	Site	Decant/Cladding	Inability to secure temporary staffing to free up capacity for the Clinical Lead to undertake planning, oversight, execution and delivery of the relocation of services across the site.	4	4	16	NHS work with agency, Hub North and NHS to source suitable candidate.	4	4	16	↔	NHS	David Wagstaff		
41	Construction	Decant/Cladding	HSE or other statutory body intervention either planned or ad-hoc leading to delays/ changes to the project deliverables.	3	4	12	Competent contractor to be engaged to ensure that works are carried out to current standards	1	4	4	↔	Contractor	Contractor		
42	Design	Decant/Cladding	Adherence to built environment guidance (SHTM's etc) leading to design/ execution delays and increased costs.	3	4	12	Areas will be relocated but standards may not always be met other than items such as fire, water quality, some areas of ventilation, etc. further discussion required with NHSS Assure	3	4	12	↔	NHS	David Wagstaff		
43	Site	Decant	Inability to secure a decant solution that meets the clinical and operational requirements of the organisation.	5	5	25	Early engagement with modular accommodation suppliers, clinical teams etc. Further discussions required	5	5	25	↔	NHS	David Wagstaff		
44	Site	Cladding	The structural integrity risk associated with a delay caused by funding allocation and/or inability to secure a clinical decant solution.	5	5	25	Structural support of the walls around the tower to be implemented and installed. Design solution to be sought and solution installed.	4	5	20	↔	NHS	David Wagstaff		08-05-2025 Design has been progressed. Post mitigation score revised.
45	Programme	Decant/Cladding	Scottish Government require further governance, including SDAP, KSAR, NDAP etc to support the project.	4	5	20	Meeting arranged with Scottish Government to discuss the project and issues.	4	5	20		NHS	David Wagstaff		08-05-2025 New risk added.
46	Programme	Decant	Procurement of decant accommodation takes longer than expected.	5	5	25	engage early with supply chain to update than that is forthcoming. Provide robust scope document on the requirements got the facility. Tender process now to be driven by dedicated resource. Quality of document to be robust. NHS Assure to potentially be engagement in tender process	4	5	20		NHS	David Wagstaff		08-05-2025 New risk added.
47	Cost	Cladding	Costs of proposed solution are greater than cost estimate.	4	3	12	Regular reviews to be undertaken to ensure cost estimate is valid.	3	3	9		NHS	David Wagstaff		08-05-2025 New risk added.
48	Governance	Decant/Cladding	NHS Assure are unable to support the project due to resource issues. CIG may require NHS Assure input to the project.	5	5	25	Ongoing dialogue with CIG.	4	5	20		NHS	David Wagstaff		08-05-2025 New risk added.
						0				0					

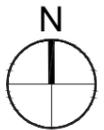
7.4 Drawings

All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION



— NHS Shetland Ownership Boundary



SCALE 1:1250



PLANNING

SCALE	DATE	DRAWN	CHECKED
1:1250@A3	Jan'25	GA	DEA

PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

DRAWING
Location Plan
As Existing

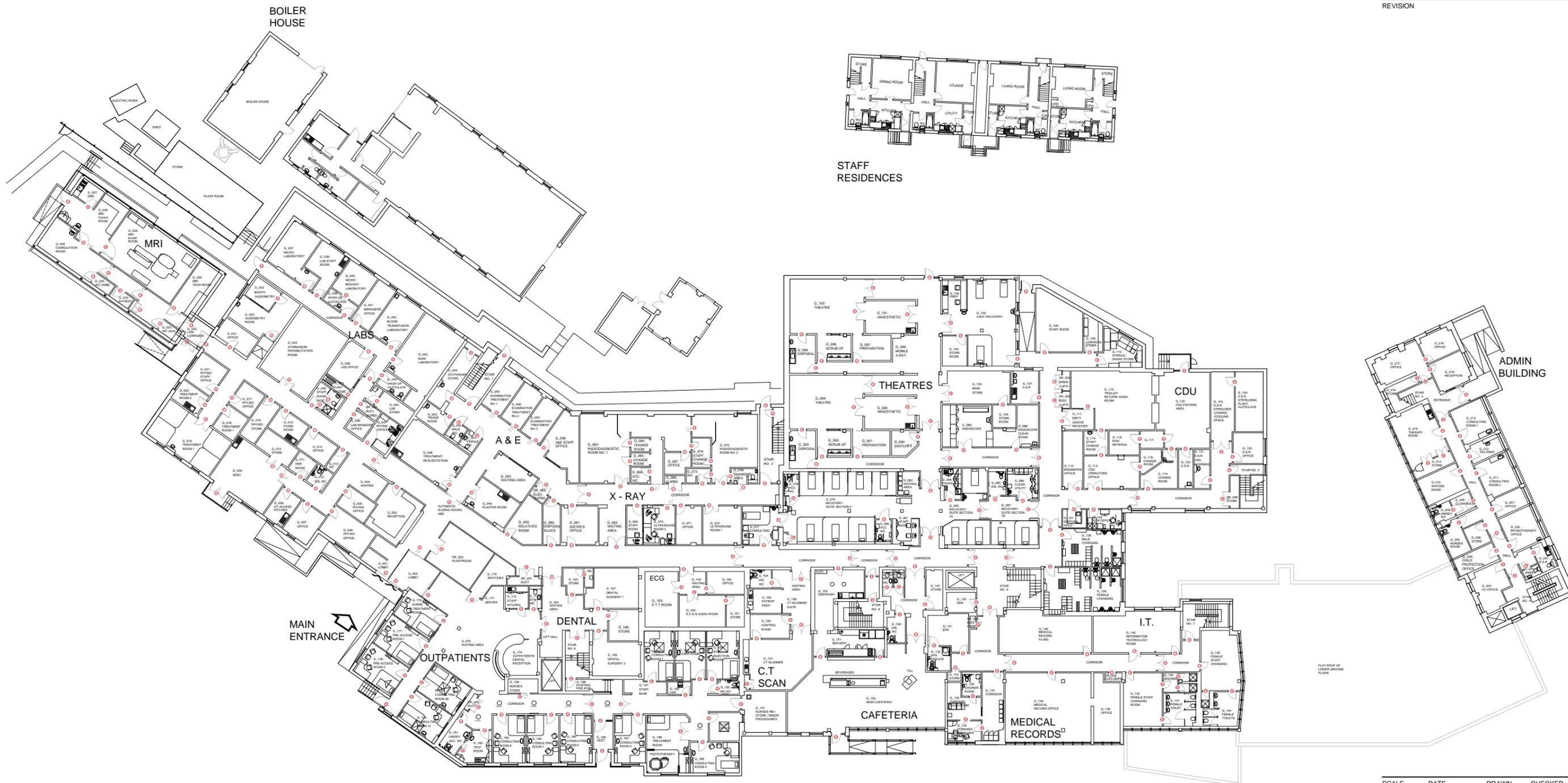


10 MONTROSE STREET
 GLASGOW
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DRAWING No.
24069A-10-001

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REVISION



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PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
GROUND FLOOR PLAN
 AS EXISTING

Threesixty
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 10 MONTROSE STREET
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DRAWING No.
24069A-10-003

NOTES

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PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
FIRST FLOOR PLAN
 AS EXISTING



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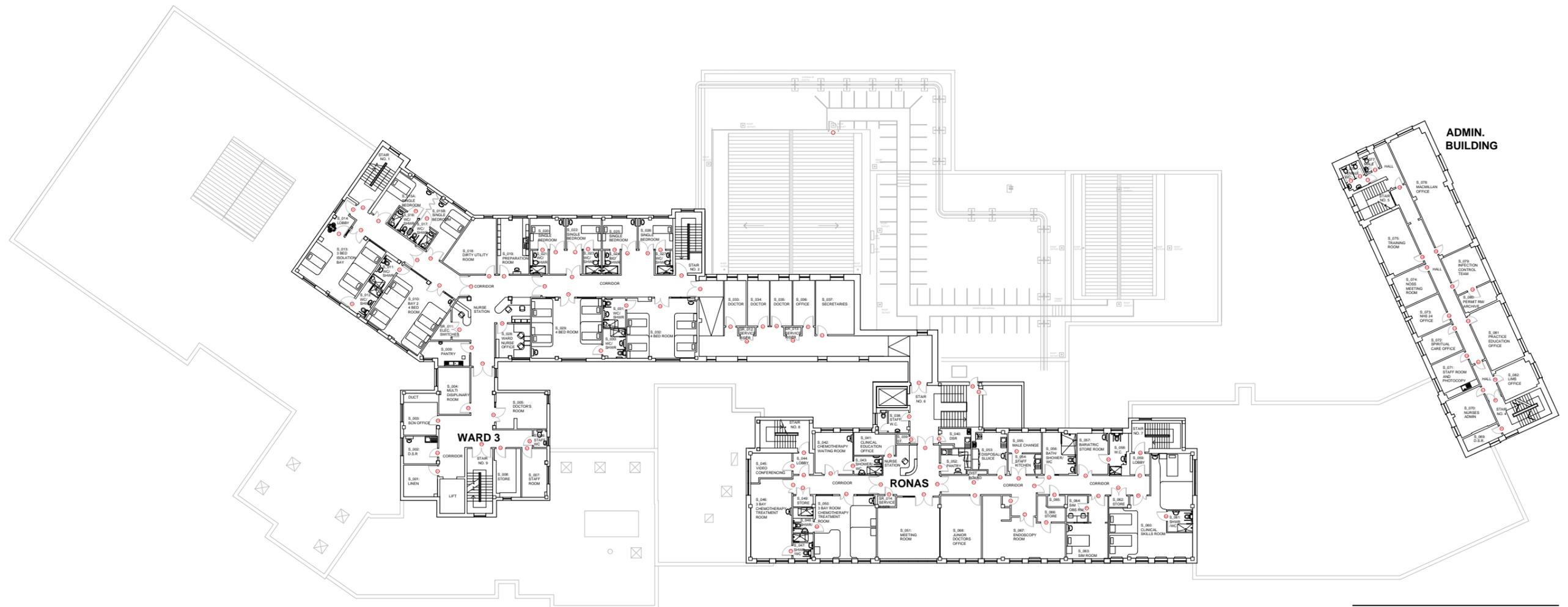
DRAWING No.
24069A-10-004

NOTES

ORIGINAL A1

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PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

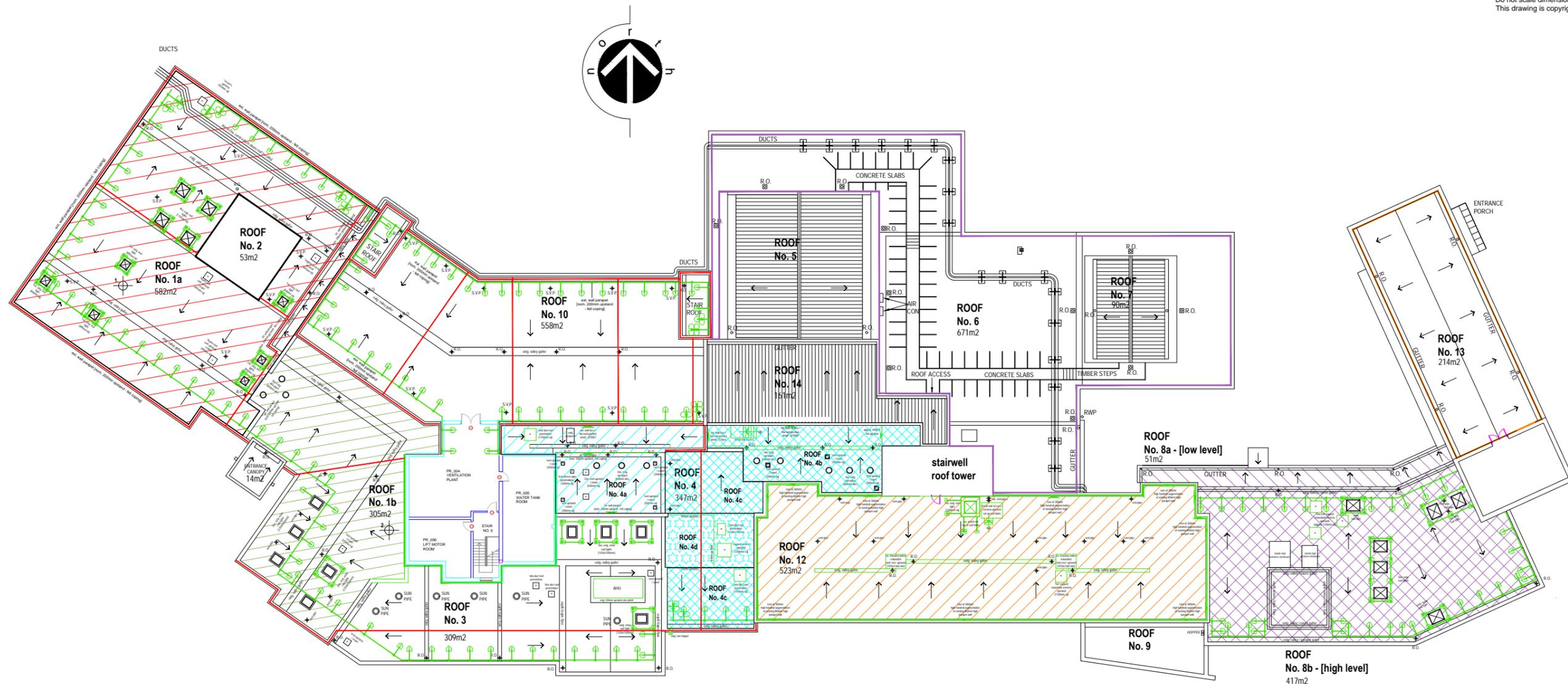
DRAWING
SECOND FLOOR PLAN
 AS EXISTING

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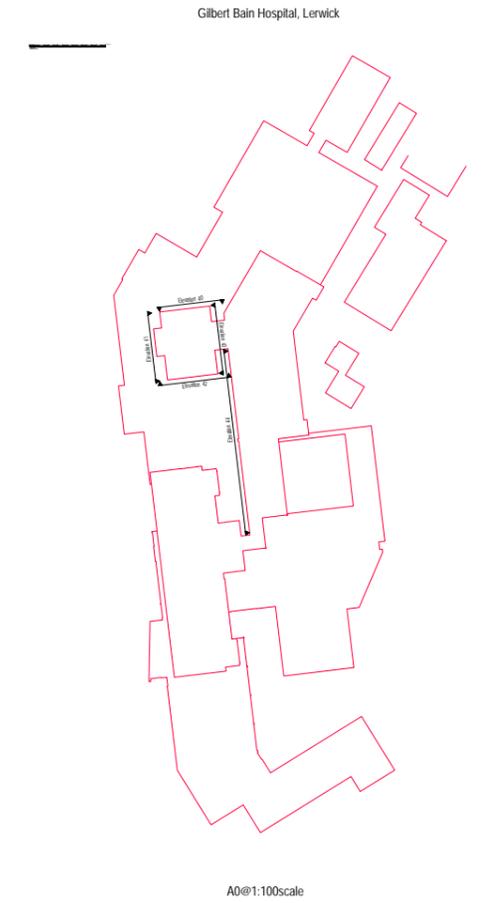
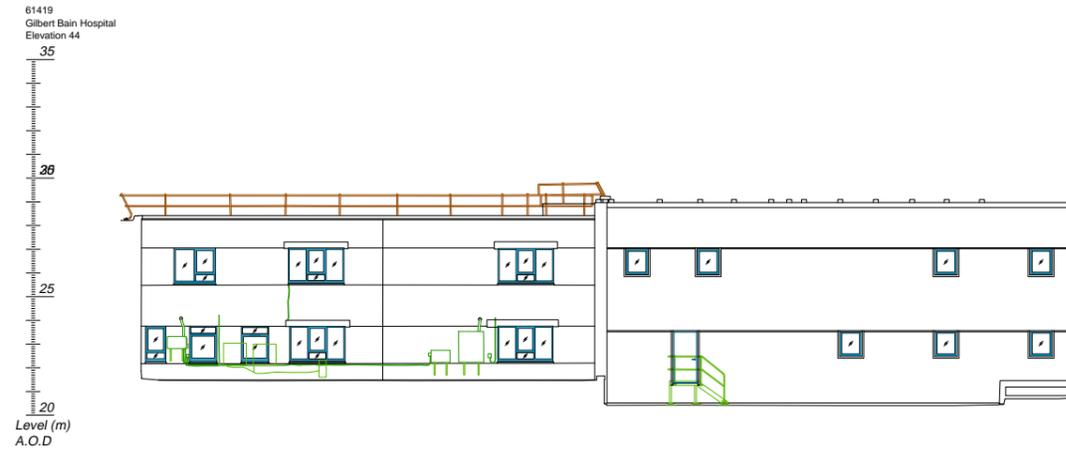
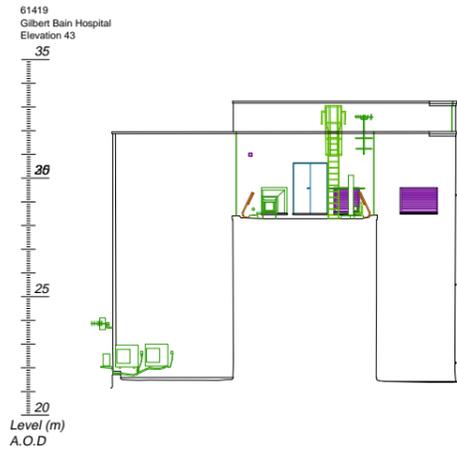
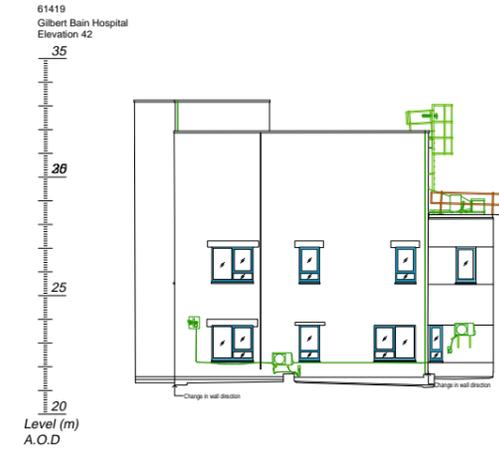
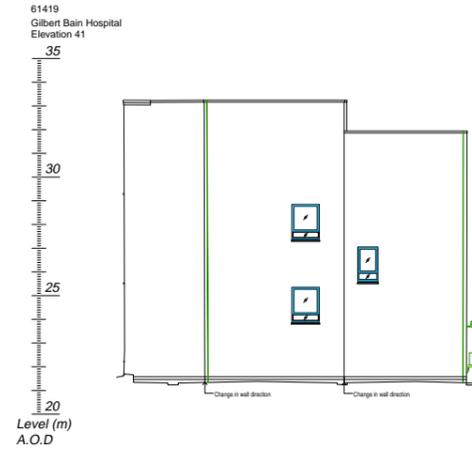
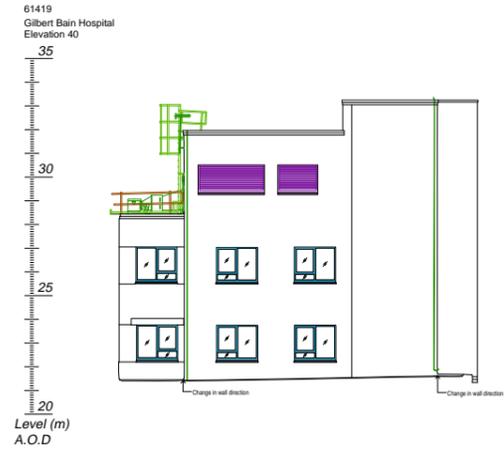
PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
Third Floor Plan
 As Existing

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DRAWING No.
24069A-10-006

NOTES ORIGINAL A0
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 REVISION



SCALE	DATE	DRAWN	CHECKED
1:100@A0	Jan'25	GA	DEA
PROJECT			
Gilbert Bain Hospital Elevational Structural Issues for NHS Shetland			
DRAWING			
Elevations as existing (Sht 1 of 2)			
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DRAWING No.			
24069A-10-008			

NOTES ORIGINAL A0

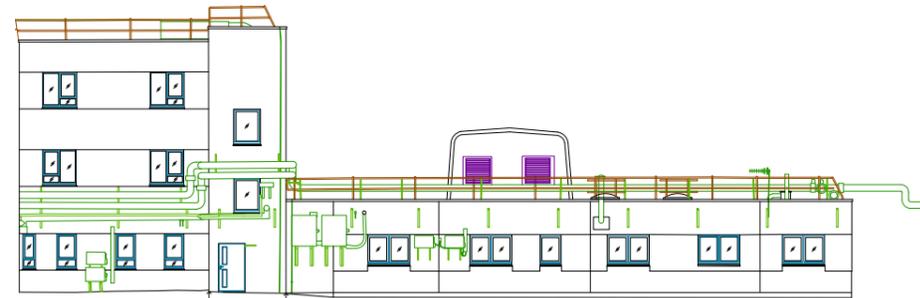
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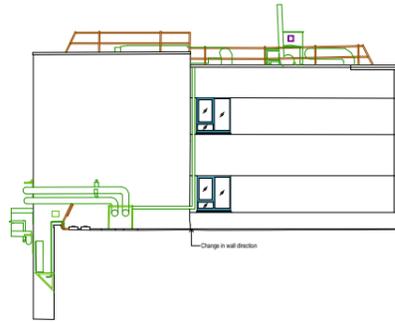
61419
Gilbert Bain Hospital
Elevation 36
30
25
20
15
Level (m)
A.O.D



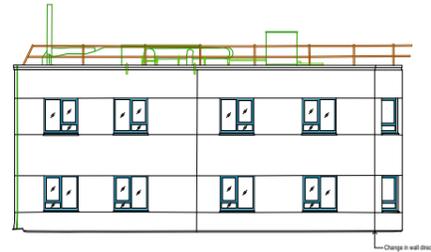
61419
Gilbert Bain Hospital
Elevation 37
30
25
20
15
Level (m)
A.O.D



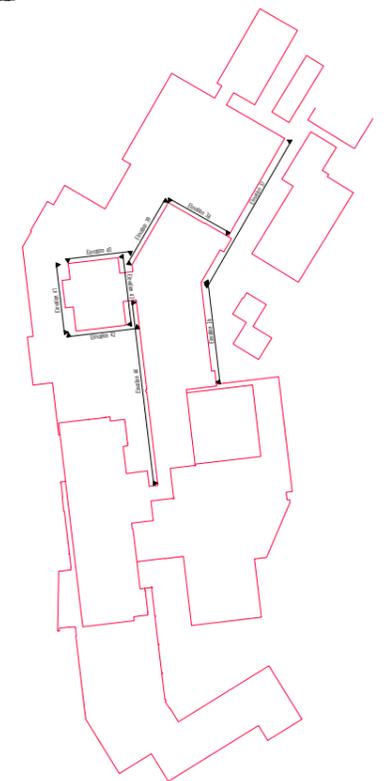
61419
Gilbert Bain Hospital
Elevation 38
35
30
25
20
15
Level (m)
A.O.D



61419
Gilbert Bain Hospital
Elevation 39
35
30
25
20
Level (m)
A.O.D



Gilbert Bain Hospital, Lerwick



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SCALE	DATE	DRAWN	CHECKED
1:100@A0	Jan'25	GA	DEA

PROJECT
Gibert Bain Hospital
Elevational Structural Issues
for NHS Shetland

DRAWING
Elevations as existing
(Sht 2 of 2)

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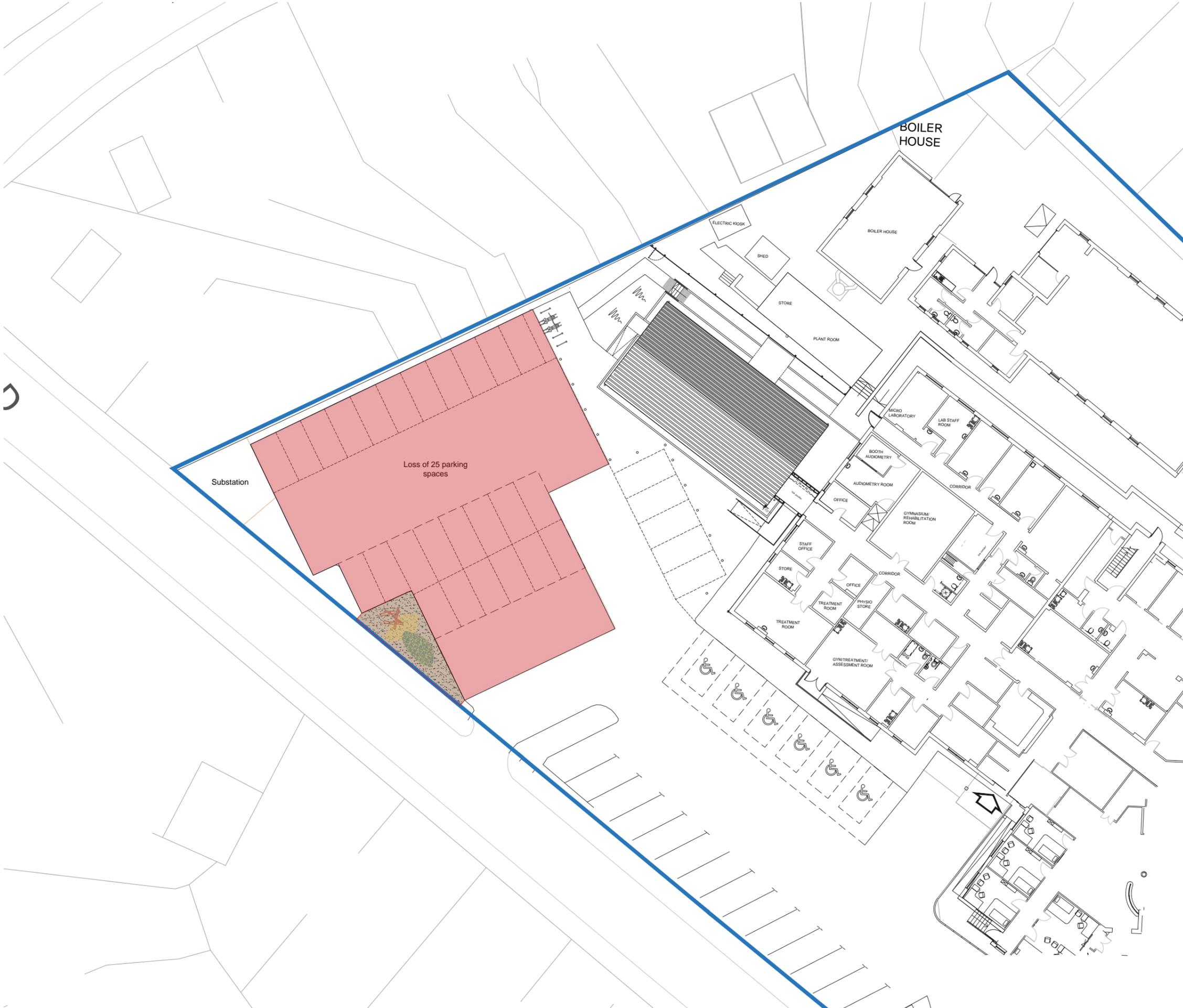
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24069A-10-009

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REVISION



 Area Available for Decant Accommodation : 636.22m²



SCALE 1:200



PLANNING

SCALE	DATE	DRAWN	CHECKED
1:200@A3	Jan'25	OP	GA

PROJECT
**Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland**

DRAWING
**Site Plan -
Area Available for Decant**



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DRAWING No.
24069A-11-001

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REVISION

A	03.03.25	Updated Room Names	OP	PH
---	----------	--------------------	----	----

DEPARTMENT AREAS (m ²)	
Dental	83.85m ²
Outpatients	521.67 ²
ECG	59.48m ²
C.T Scan	80.58m ²



SCALE	DATE	DRAWN	CHECKED
1:200@A1	Jan'25	HM	GA

PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues for NHS Shetland

DRAWING
GROUND FLOOR PLAN
 IMPACTED AREAS



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24069A-11-002 A

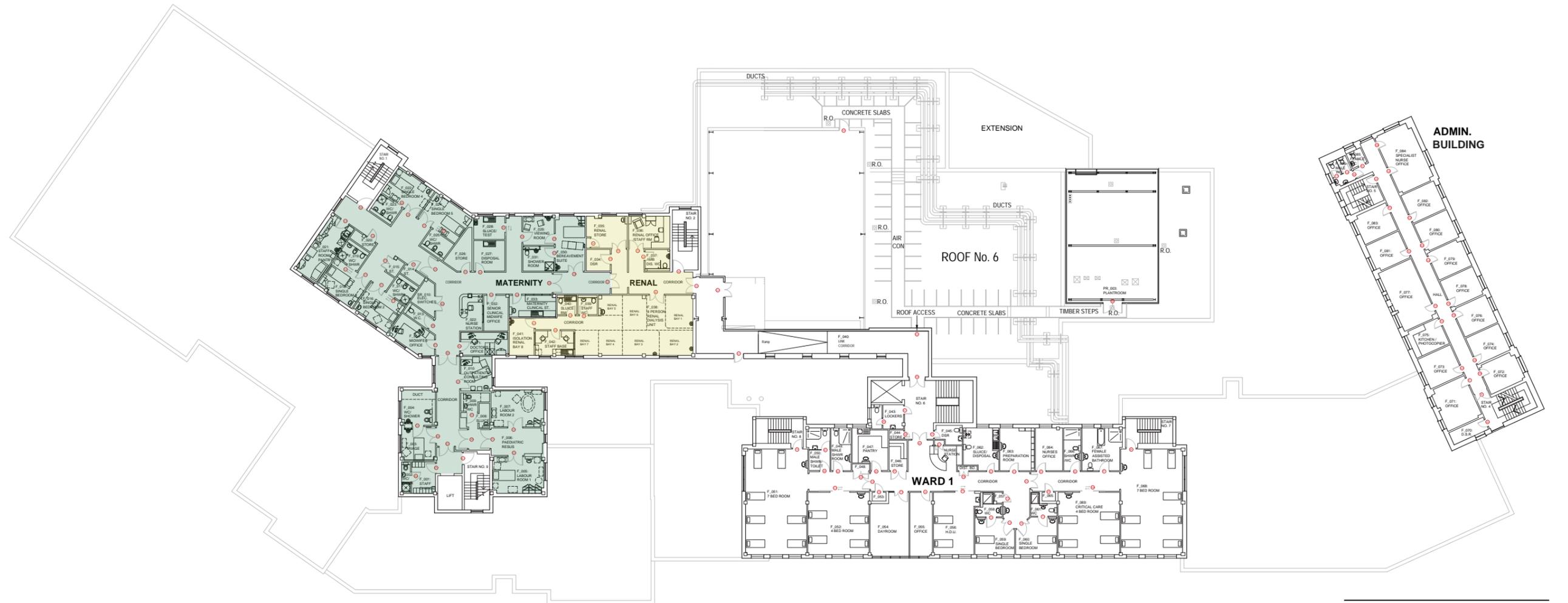
NOTES ORIGINAL A1

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REVISION

A	03.03.25	Updated Room Names	OP	GA
---	----------	--------------------	----	----

DEPARTMENT AREAS (m ²)	
Total Maternity	458.24 m ²
Renal	155.27 m ²



SCALE	DATE	DRAWN	CHECKED
1:200@A1	Jan'25	HM	GA

PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
FIRST FLOOR PLAN
 IMPACTED AREAS

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REVISION
A 03.03.25 Updated Room Names OP GA

DEPARTMENT AREAS (m ²)	
Ward 3	611.36 m ²
Chemo	176.63 m ²
Ronas	296.03 m ²



SCALE	DATE	DRAWN	CHECKED
1:200@A1	Jan'25	HM	GA

PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

DRAWING
SECOND FLOOR PLAN
IMPACTED AREAS

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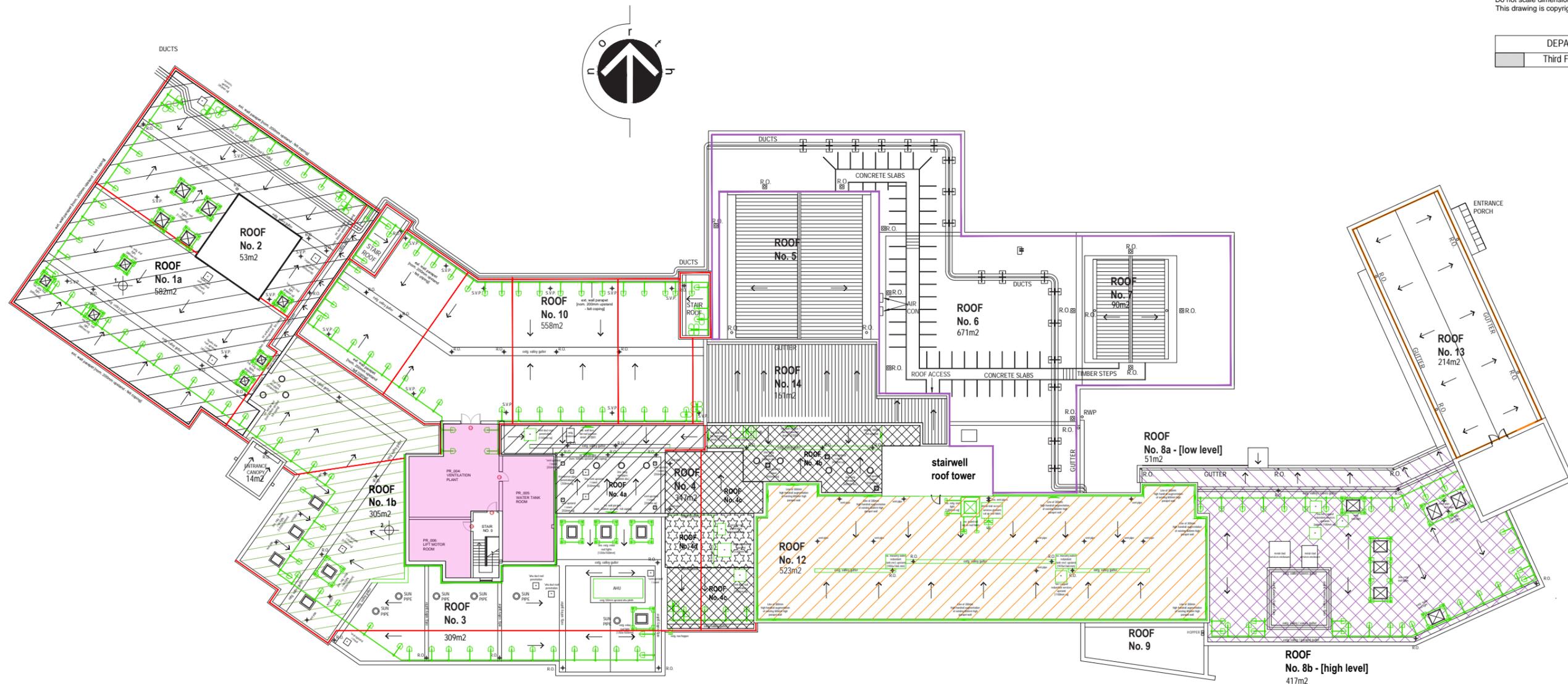
DRAWING No.
24069A-11-004 A

NOTES

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DEPARTMENT AREAS (m ²)	
Third Floor	142.04 m ²



REVISIONS			
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1:200@A1	Jan'25	OP	GA

PROJECT
Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
Third Floor Plan
 Impacted Areas



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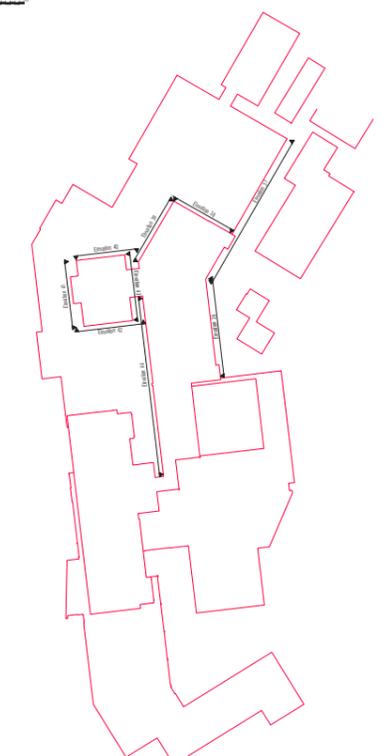
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24069A-11-005

NOTES ORIGINAL A0
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 REVISION

ELEVATION AREAS	
Elevation 36	204.13m ²
Elevation 37	102.31m ²
TOTAL	306.44m²
Elevation 38	55.69m ²
Elevation 39	91.92m ²
TOTAL	147.61m²

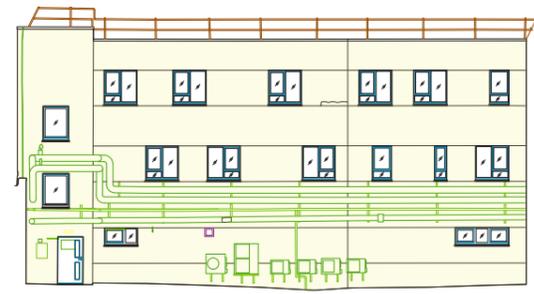
EXTENT OF REPAIRS	
	Full Facade Replacement
	Replace Lintels and Cills, Replace movement joints & render beads
	Identify and Replace Areas of Bossed Render only
	Render removed, overcladding to cavity walls, replace lintels & cills

Gilbert Bain Hospital, Lerwick

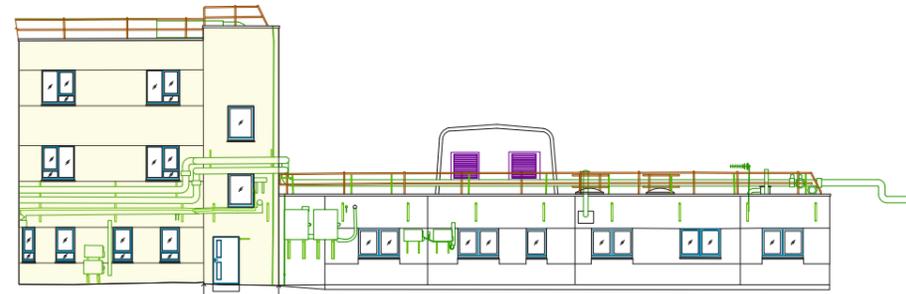


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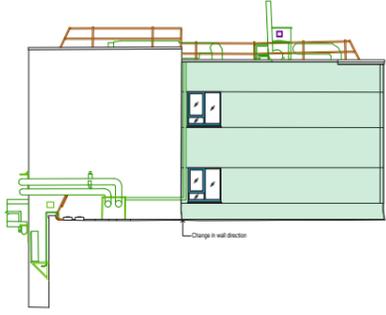
61419
 Gilbert Bain Hospital
 Elevation 36
 Level (m)
 A.O.D.



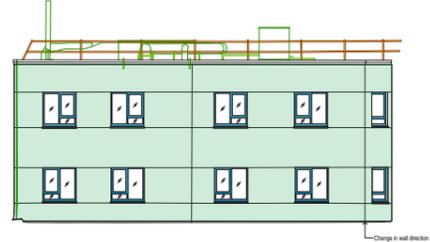
61419
 Gilbert Bain Hospital
 Elevation 37
 Level (m)
 A.O.D.



61419
 Gilbert Bain Hospital
 Elevation 38
 Level (m)
 A.O.D.



61419
 Gilbert Bain Hospital
 Elevation 39
 Level (m)
 A.O.D.



NOTE
 Extent of Replacement Works is subject to the outcome of more detailed investigations to be carried out by the Structural Engineer

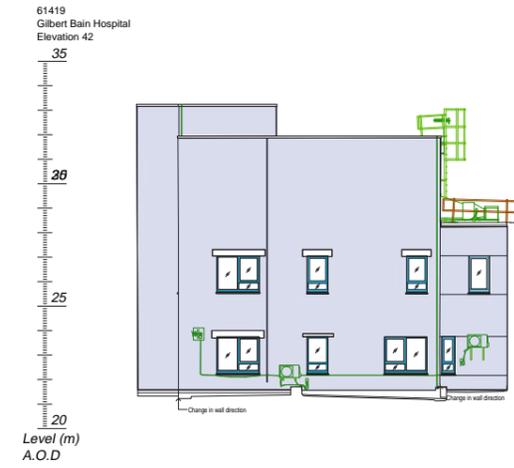
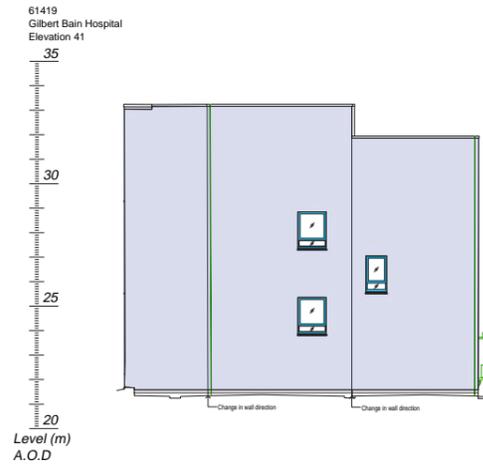
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PROJECT
 Gilbert Bain Hospital
 Elevational Structural Issues for NHS Shetland

DRAWING
 Affected Elevations - extent of works (Option 2)

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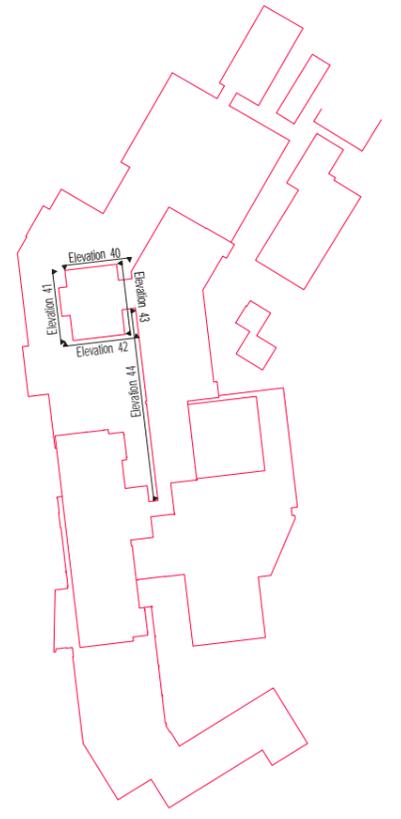
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 REVISION



ELEVATION AREAS	
Elevation 40	130.28m ²
Elevation 41	155.73m ²
Elevation 42	136.52m ²
Elevation 43	111.77m ²
Elevation 44	104.62m ²
TOTAL	638.92m²

EXTENT OF REPAIRS	
	Full Facade Replacement
	Replace Lintels and Cills, Replace movement joints & render beads
	Identify and Replace Areas of Bossed Render only
	Render removed, overcladding to cavity walls, replace lintels & cills

Gilbert Bain Hospital, Lerwick



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1:100@A0	Jan'25	OP	GA

PROJECT
 Gibert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
 Affected Elevations -
 extent of works (sheet 1 of 2)

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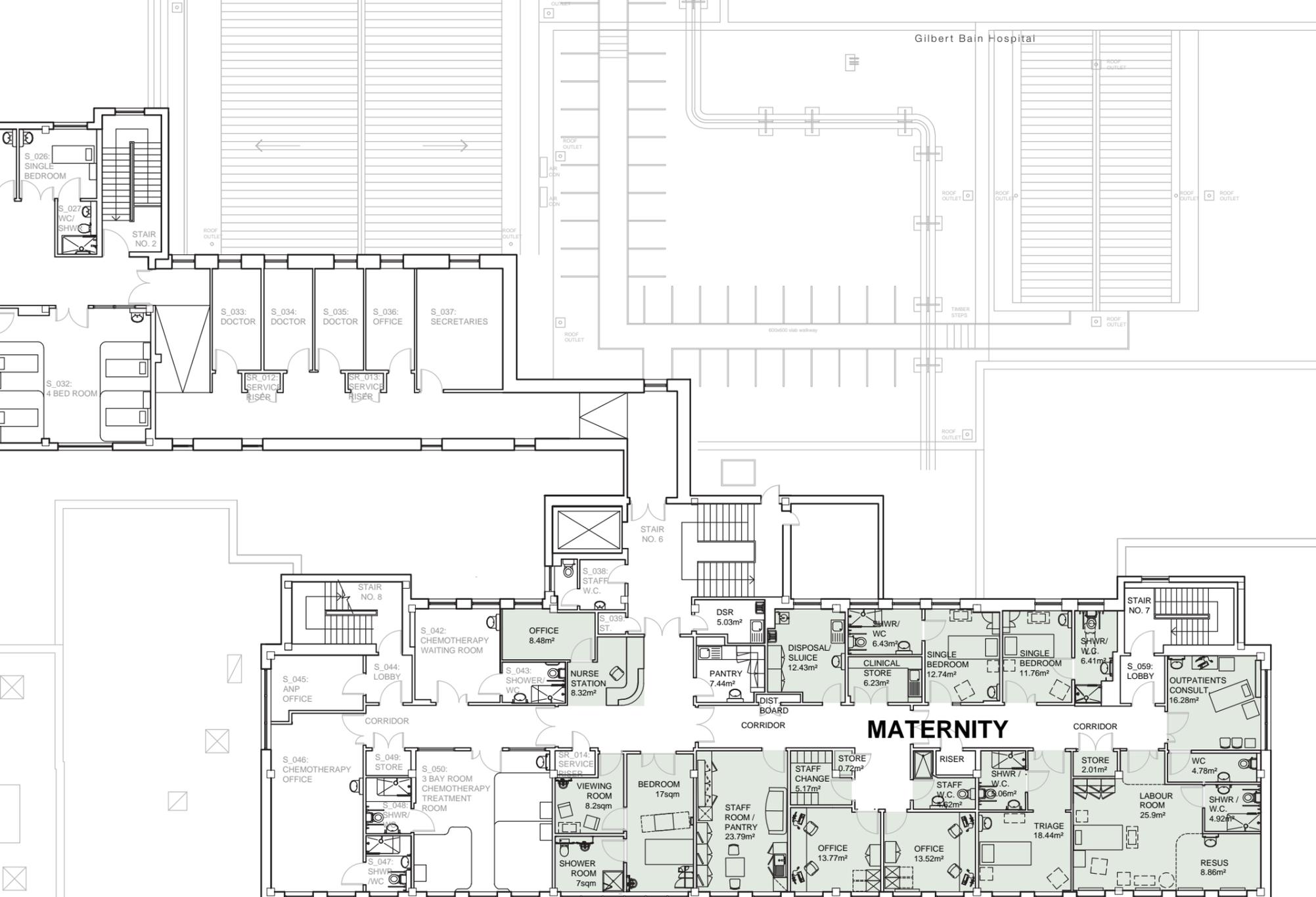
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REVISION			
A	14.5.25	Revised to suit staff comments	OP GA

24069A GBH Cladding Remedials

MATERNITY	Area per room		MINIMUM	OPTION 1 ACTUAL	
	No.	SQM			Total Area SQM
Room Type	No.	SQM	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	26.3 Clinical	2	30.2 Clinical
En-suite	2	4.85	9.7 Clinical	2	11.47 Clinical
Triage Room & En-suite	1	21.79	21.79 Clinical	1	19.47 Clinical
Labour Room	1	17.37	17.37 Clinical	1	24.58 Clinical
Paediatric Resus	1	12.41	12.41 Clinical	1	7.95 Clinical
Nurse Station	1	7.94	7.94 Clinical	1	8.32 Clinical
Outpatients Consultant Room	1	10.4	10.4 Clinical	1	17.62 Clinical
Bereavement Suite	1	30.96	30.96 Clinical	1	32.2 Clinical
SUB TOTAL			136.87		153.37
Disposal Room	1	8.94	8.94 Ancillary	1	12.43 Ancillary
Skilce/Test	1	6.84	6.84 Ancillary	1	6.84 Ancillary
Store	2	3.38	6.76 Ancillary	2	2.73 Ancillary
Clinical Store	1	9.39	9.39 Ancillary	1	6.23 Ancillary
Shower Room	1	7.18	7.18 Ancillary	1	4.92 Ancillary
SUB TOTAL			39.11		26.31
Staff Change & WC	1	9.63	9.63 Staff	1	9.79 Staff
Office	2	9.66	19.32 Staff	2	35.77 Staff
Staff Room/Pantry	1	16.42	16.42 Staff	1	23.79 Staff
SUB TOTAL			45.37		69.35
TOTAL			221.35		249.03
Circulation/Plant Allowance 30%			66.41		
GRAND TOTAL			287.755		



SCALE	DATE	DRAWN	CHECKED
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PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

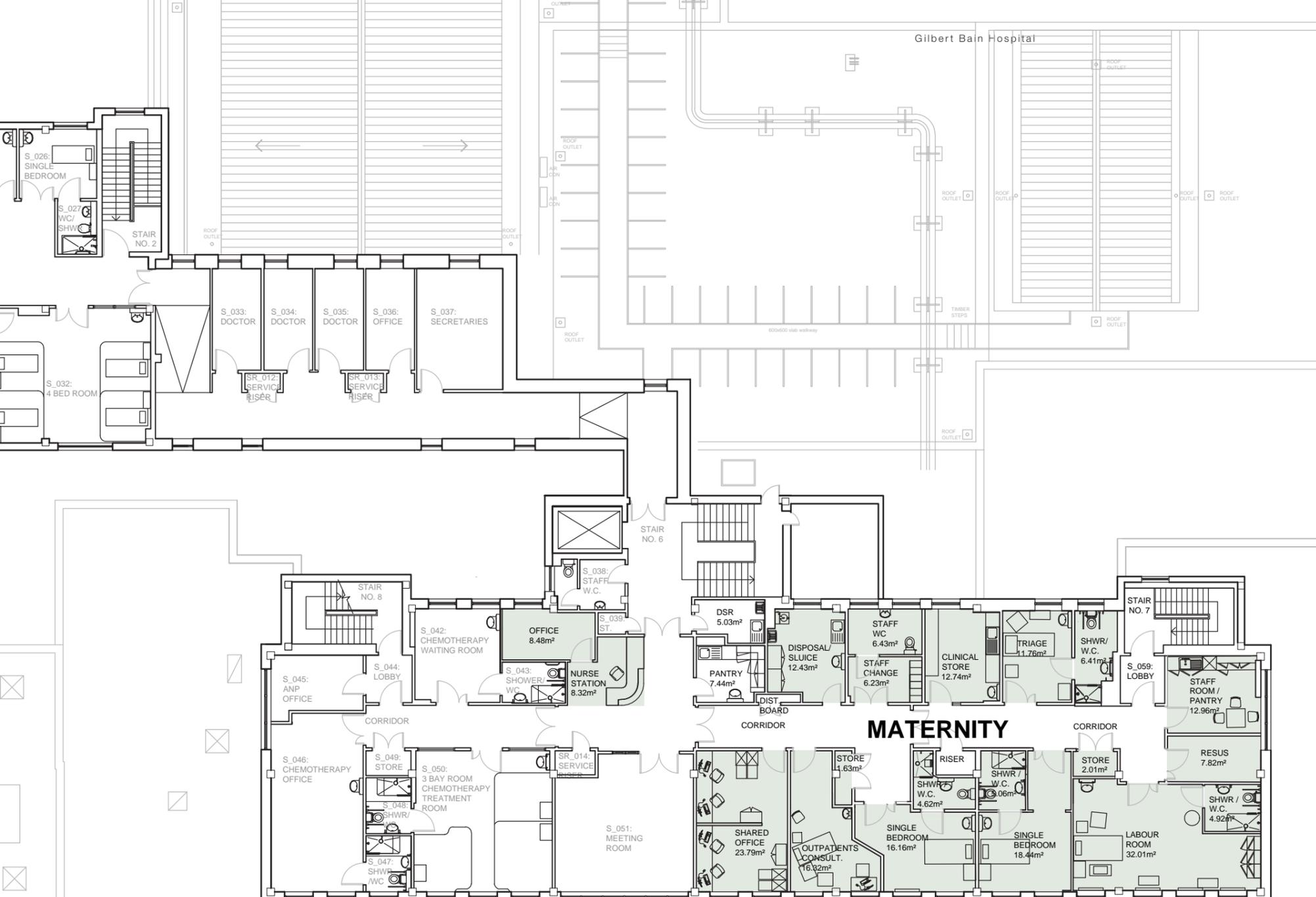
DRAWING
Maternity Decant
OPTION 1

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REVISION



24069A GBH Cladding Remedials

MATERNITY	No.	MINIMUM		OPTION 2 ACTUAL	No.	Department Decants	
		Area per room SQM	Total Area SQM			Total Area SQM	Category
Room Type							
Single Bedroom	2	13.15	26.3	Clinical	2	34.6	Clinical
En-suite	2	4.85	9.7	Clinical	2	9.68	Clinical
Triage Room & En-suite	1	21.79	21.79	Clinical	1	18.92	Clinical
Labour Room	1	17.37	17.37	Clinical	1	32.01	Clinical
Paediatric Resus	1	12.41	12.41	Clinical	1	7.75	Clinical
Nurse Station	1	7.94	7.94	Clinical	1	8.32	Clinical
Outpatients Consultant Room	1	10.4	10.4	Clinical	1	16.32	Clinical
SUB TOTAL						105.91	
Disposal Room	1	8.94	8.94	Ancillary	1	12.43	Ancillary
Skate/Test	1	6.84	6.84	Ancillary	1	-	Ancillary
Store	2	3.38	6.76	Ancillary	2	1.4	Ancillary
Clinical Store	1	9.39	9.39	Ancillary	1	12.74	Ancillary
Shower Room	1	7.18	7.18	Ancillary	1	4.92	Ancillary
SUB TOTAL						39.11	
Staff Change & WC	1	9.63	9.63	Staff	1	12.66	Staff
Office	2	9.66	19.32	Staff	2	32.27	Staff
Staff Room/Pantry	1	16.42	16.42	Staff	1	12.5	Staff
SUB TOTAL						45.37	
TOTAL						190.39	218.54
Circulation/Plant Allowance 30%						57.12	
GRAND TOTAL						247.507	

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PROJECT
**Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland**

DRAWING
**Maternity Decant
 OPTION 2**

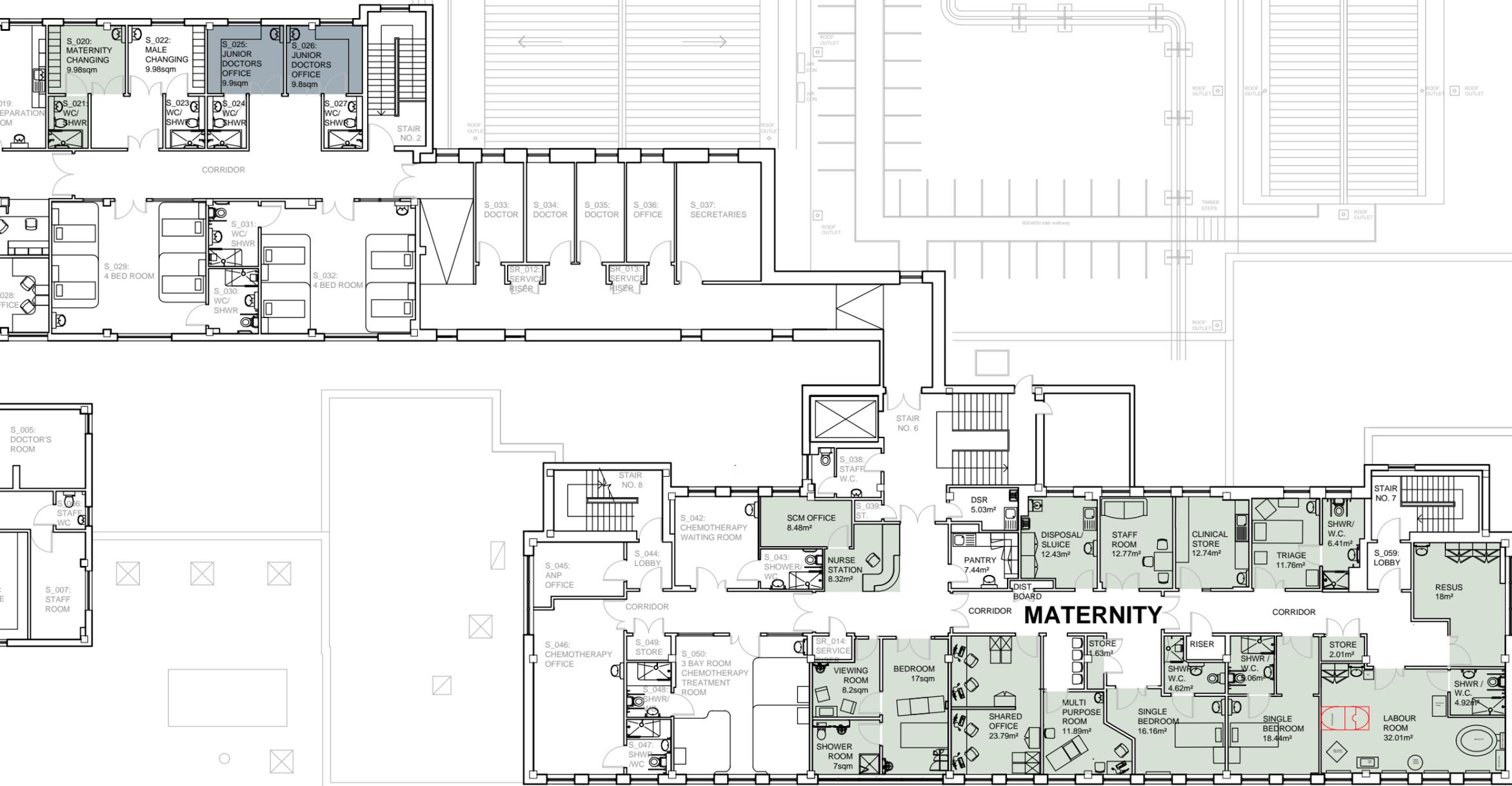
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REVISION
A 19.05.25 Amendments following Midwife comments GB

MATERIALITY	SCHEDULE		SPONSOR ACTUAL	
	No.	Total Area SQM	No.	Total Area SQM
Single Bedroom	2	13.15	2	36.5
Ensuite	2	4.85	2	9.80
Triage Room & Ensuite	1	21.75	1	18.17
Labour Room	1	17.37	1	32.01
Parabolic Room	1	12.41	1	1.0
Nurse Station	1	7.94	1	8.32
Outpatients/Consultant Room	1	10.4	1	10.85
SUB TOTAL				152.87
Disposal Room	1	5.03	1	12.43
Staffed	1	6.84	1	6.84
Staff	2	3.38	2	3.84
Clinical Store	1	5.35	1	12.74
Disposal Room	1	7.18	1	4.92
SUB TOTAL				33.38
Staff Change & WC	1	9.63	1	-
CRN	2	16.0	2	32.27
Staff/Staff Party	1	16.42	1	12.77
SUB TOTAL				45.04
TOTAL				231.44
Clinical Plant Allowance 30%			57.12	
GRAND TOTAL				288.88



SCALE	DATE	DRAWN	CHECKED
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PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

DRAWING
Maternity Decant
OPTION 2

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REVISION

24069A GBH Cladding Remedials

MATERNITY		MINIMUM		OPTION 3 ACTUAL	
Room Type	No.	Area per room SOM	Total Area SCM	No.	Total Area SOM
Single Bedroom	2	13.15	26.3	2	42.03
En-suite	2	4.85	9.7	2	9.98
Triage Room & En-suite	1	21.79	21.79	1	18.17
Labour Room	1	17.37	17.37	1	19.7
Paediatric Resus	1	12.41	12.41	1	8.29
Nurse Station	1	7.94	7.94	1	8.32
Outpatients Consultant Room	1	10.4	10.4	1	12.74
SUB TOTAL			105.91		119.33
Disposal Room	1	8.94	8.94	1	12.43
Sluice/Test	1	6.84	6.84	1	-
Store	2	3.38	6.76	2	7.35
Clinical Store	1	9.39	9.39	1	9.14
Shower Room	1	7.18	7.18	1	5.18
SUB TOTAL			39.11		34.1
Staff Change & WC	1	9.63	9.63	1	12.66
Office	2	9.66	19.32	2	32.27
Staff Room/Pantry	1	16.42	16.42	1	17.07
SUB TOTAL			45.37		62
TOTAL			190.39		215.43
Circulation/Plant Allowance 30%			57.12		
GRAND TOTAL			247.507		

SCALE	DATE	DRAWN	CHECKED
1:200@A3	APR/25	OP	GA

PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

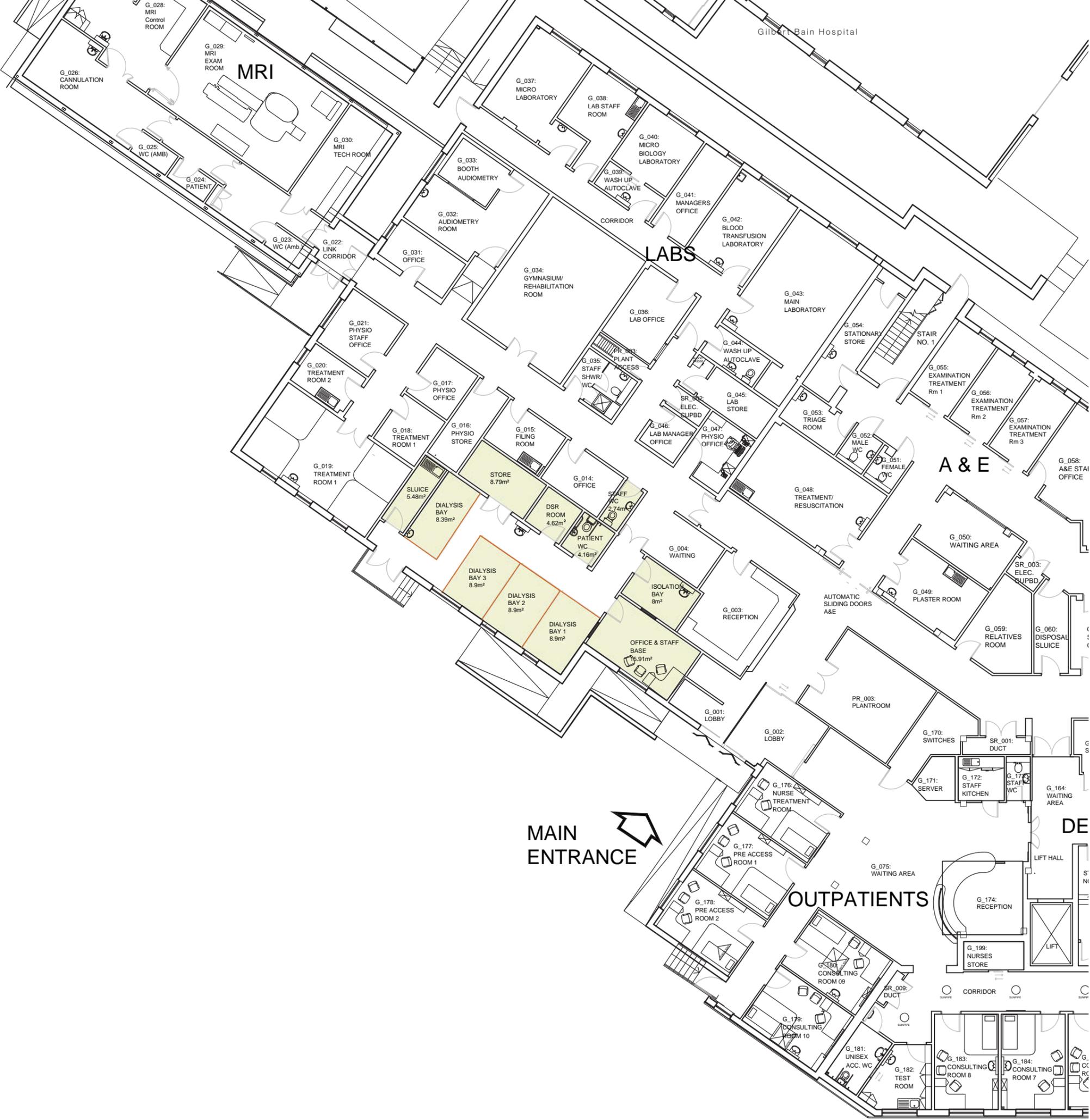
DRAWING
Maternity Decant
OPTION 3

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REVISION



RENAL	MINIMUM	OPTION 1 ACTUAL
Room Type	No.	Area per room SOMotal Area SOM
Renal Dialysis Bay	4	7.22 28.88 Clinical
Staff Base	1	8.8 8.8 Clinical
Isolation Renal Bay	1	8.7 8.7 Clinical
SUB TOTAL		46.38
Sluice Room	1	3.59 3.59 Ancillary
Dis. WC	1	4.86 4.86 Ancillary
Renal Store	1	12.45 12.45 Ancillary
DSR	1	4.86 4.86 Ancillary
SUB TOTAL		25.76
Renal Office	1	12.45 12.45 Staff
SUB TOTAL		15.91
TOTAL		84.59
Circulation/Plant Allowance 30%		25.38
GRAND TOTAL		109.97

SCALE	DATE	DRAWN	CHECKED
1:200@A3	APR 25	OP	

PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
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DRAWING
Renal Decant
Option 1

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NOTES

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REVISION

A 12.5.25 DSR relocated, staff pantry added GA GB



RENAL	MINIMUM	OPTION 1A	ACTUAL
Room Type	No.	Area per room SQM	Total Area SOM
Renal Dialysis Bay	4	7.22	28.88 Clinical
Staff Base	1	8.8	8.8 Clinical
Isolation Renal Bay	1	8.7	8.7 Clinical
SUB TOTAL			46.38
Sluice Room	1	3.59	3.59 Ancillary
Dis. WC	1	4.86	4.86 Ancillary
Renal Store	1	12.45	12.45 Ancillary
DSR	1	4.86	4.86 Ancillary
SUB TOTAL			25.76
Renal Office	1	12.45	12.45 Staff
Staff Pantry	0	-	- Staff
SUB TOTAL			15.91
TOTAL			86.77
Circulation/Plant Allowance 30%			25.38
GRAND TOTAL			109.967

SCALE	DATE	DRAWN	CHECKED
1:200@A3	APR 25	OP	

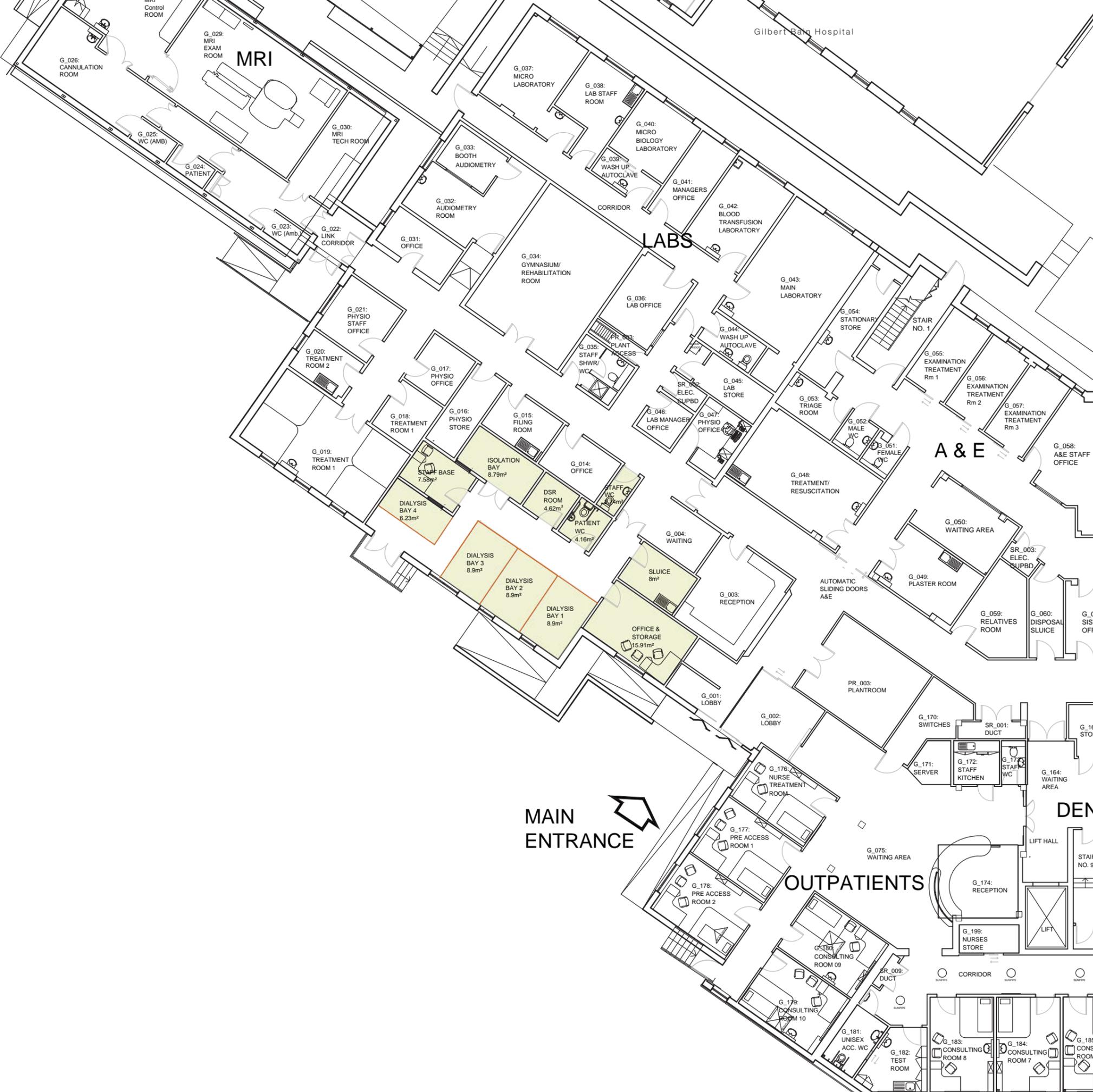
PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

DRAWING
Renal Decant
Option 1



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DRAWING No.
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NOTES ORIGINAL A3
 RIBA Stage 2 Report
 All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION

Room Type	No.	Area per room SQM	Minimum	Option 2 Actual
Renal Dialysis Bay	4	7.22	28.88 Clinical	4 32.93 Clinical
Staff Base	1	8.8	8.8 Clinical	1 7.58 Clinical
Isolation Renal Bay	1	8.7	8.7 Clinical	1 8.79 Clinical
SUB TOTAL			46.38	49.3
Sluice Room	1	3.59	3.59 Ancillary	1 8 Ancillary
Dis. WC	1	4.86	4.86 Ancillary	1 4.16 Ancillary
Renal Store	1	12.45	12.45 Ancillary	1 12.45 Ancillary
DSR	1	4.86	4.86 Ancillary	1 4.62 Ancillary
SUB TOTAL			25.76	16.78
Renal Office	1	12.45	12.45 Staff	1 15.91 Staff
SUB TOTAL			12.45	15.91
TOTAL			84.59	81.99
Circulation/Plant Allowance 30%			25.38	
GRAND TOTAL			109.97	

SCALE DATE DRAWN CHECKED
 1:200@A3 APR 25 OP

PROJECT
 Gilbert Bain Hospital
 Elevational Structural Issues
 for NHS Shetland

DRAWING
 Renal Decant
 Option 2

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DRAWING No.
24069A-B-205

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REVISION



Room Type	No.	Area per room	SGM	Total Area	Category	Option 3 Actual
Renal Dialysis Bay	4	7.22	28.88	28.88	Clinical	4 x 22.64 Clinical
Staff Base	1	8.6	8.6	8.6	Clinical	1 x 10.04 Clinical
Isolation Renal Bay	1	9.7	9.7	9.7	Clinical	1 x 9.06 Clinical
SUB TOTAL				46.38		41.54
Sluice Room	1	3.59	3.59	3.59	Ancillary	1 x 4.82 Ancillary
Dr. WC	1	4.86	4.86	4.86	Ancillary	1 x 4.16 Ancillary
Renal Store	1	12.45	12.45	12.45	Ancillary	1 x 8.79 Ancillary
DSR	1	4.86	4.86	4.86	Ancillary	1 x 8 Ancillary
SUB TOTAL				25.76		25.97
Renal Office	1	12.45	12.45	12.45	Staff	1 x 15.91 Staff
SUB TOTAL				12.45		15.91
TOTAL				81.59		83.02
Circulation/Port Allowance 30%				23.38		
GRAND TOTAL				104.97		

SCALE DATE DRAWN CHECKED
1:200@A3 APR 25 OP

PROJECT
Gilbert Bain Hospital
Elevational Structural Issues
for NHS Shetland

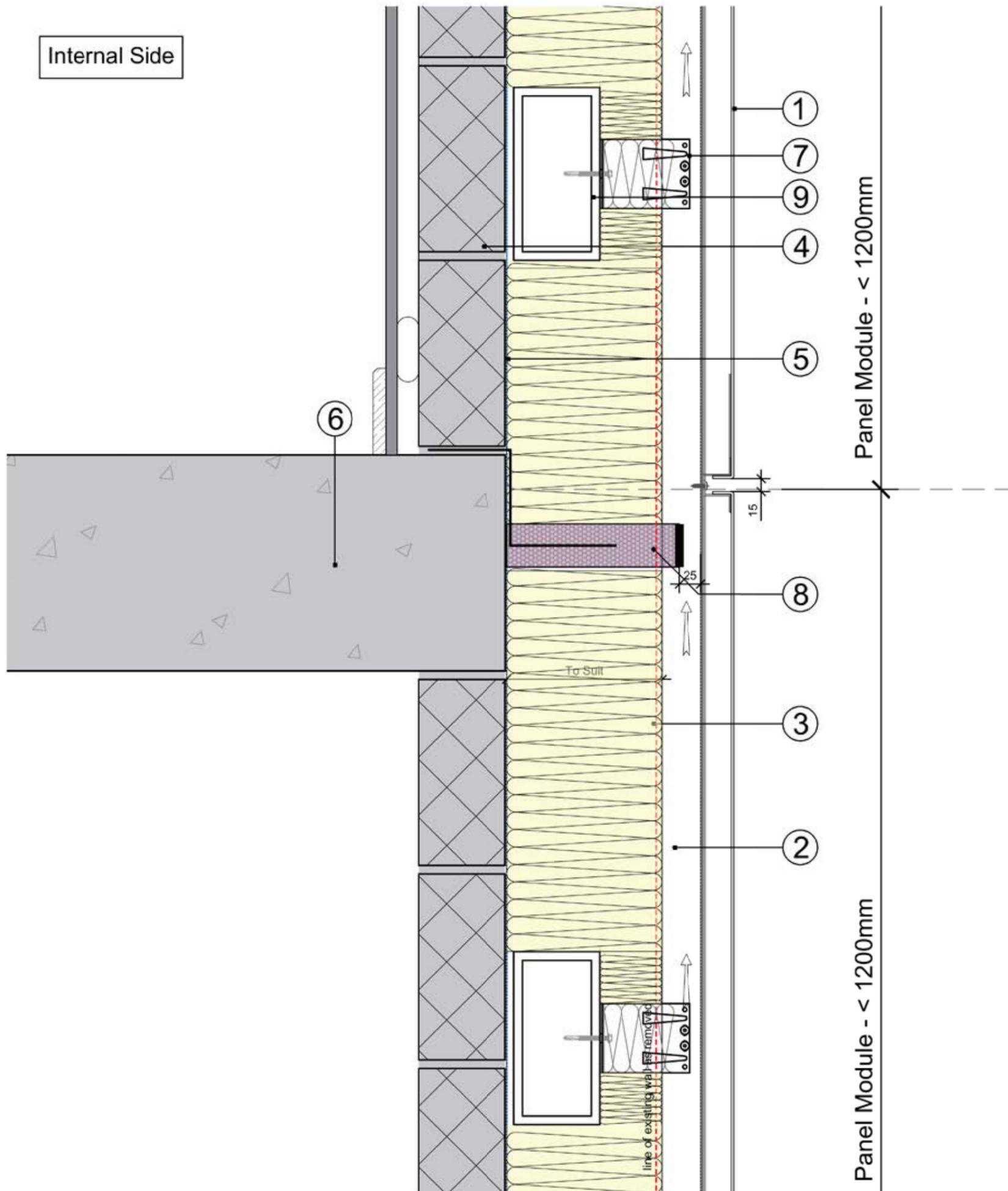
DRAWING
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Option 3



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DRAWING No.
24069A-B-206

Internal Side



DETAIL - Typical Slab Edge Proposed Interface - SECTION
1:5

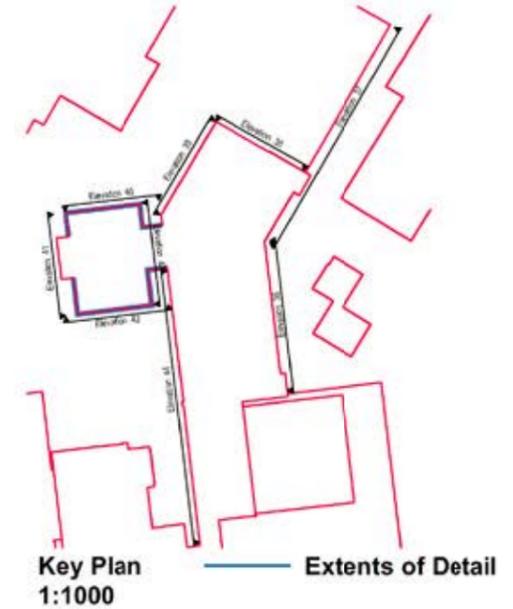
Material Reference:

1. 3mm Aluminium Cladding Cassette
A1 Non-Combustible - Valcan Vitradual
or equal - Secret fix, 15mm joints
Finish: PVDF KYNAR 500 suitable for coastal
location - Colour TBC
2. Proprietary Vertical Cladding Rails
floor to floor span. Valcan Vitrafix system or equal
to cladding sub-contractor
design
3. Non-Combustible mineral wool insulation slabs.
Rockwool rainscreen duoslab or equal to meet
U-Value
4. 100mm Existing blockwork internal leaf wall
to be retained .
5. Breather membrane
6. Existing concrete slab retained
7. Proprietary Valcan Vitrafix or equal cladding
support channel, to be fixed to new horizontal
steel member. Size TBC by cladding
sub-contractor - Where applicable -Gap
in-between insulation to be filled with
non-combustible insulation to preserve
thermal continuity.
8. min. 25mm Continuous vertical aerated
cavity60/60 min. Horizontal firestopping
suitable for ventilated rainscreen, Rockwool
OSB or equal, with intumescent expanding
edge. Firestopping around openings,
compartments and separation lines
9. New cladding horizontal structural support,
galvanised hot rolled to S.E design.
Final position TBC. New horizontal structure
to be fixed to existing columns to S.E design .
Centres TBC. Thermal insulation from
existing to be provided to avoid cold bridging
10. Aluminium flashing to match aluminium
cladding. Finish: PVDF KYNAR 500 suitable for
coastal location - Colour TBC
11. Existing/New lintel to be retained and made
good to accommodate new windows
12. EPDM membrane overlap over breather
membrane to cladding sub-contractor design
13. 60/60 FR Vertical full fill continuous
rainscreen firestopping/cavity barrier
at corners, around openings and at
compartment lines. Max. cavity size 20 mt .
Rockwool Firestop SP or equal
14. New UPVC Window, frame colour TBC.
Windows to meet statutory U-Value as per
table
15. Where possible, internal lining to be retained
as per existing conditions, to be made good to
accept new fenestration elements.
16. External leaf to be retained, render to be
stripped, surface to be made good to accept
new cladding
17. Existing block to be removed to allow for
installation of new galv. structural outrigger to
be fixed to existing concrete columns/walls
18. New cavity closer to be installed between
existing masonry leaves upon removal of
existing fenestration
19. Existing 200mm Concrete Wall retained,
applicable to stair cores.
20. Cavity Tray/Weep Holes - Retention TBC -
as part of the lintel replacing works

NOTES ORIGINAL A3

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construction / fabrication; report discrepancies immediately.
Do not scale dimensions from this drawings.
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REVISION
A 26.03.25 Legend revised. GP GA



Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

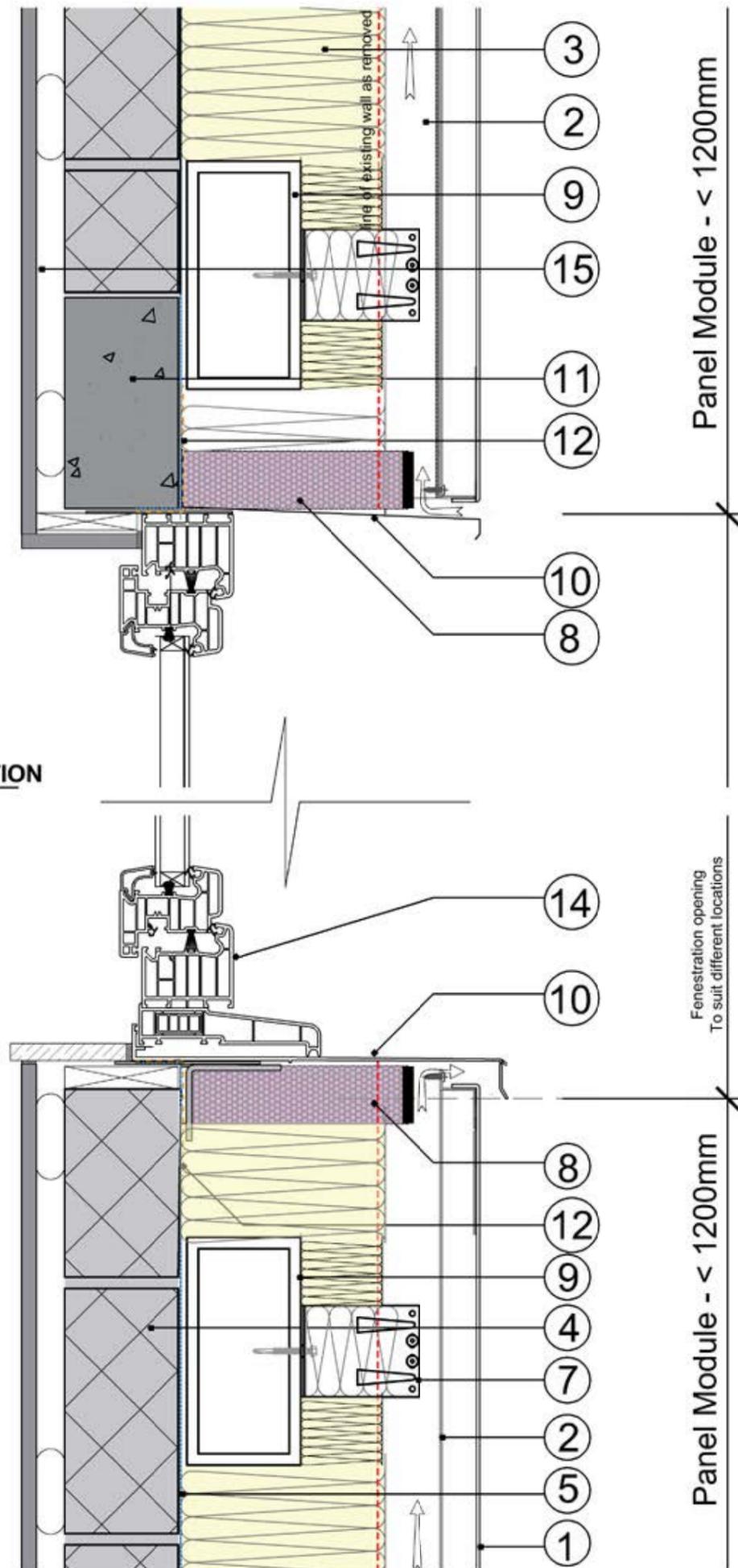
PROJECT
NHS Shetland
Gilbert Bain Hospital
External Remedial Works

DRAWING
SECTION DETAIL - Slab edge
Single Leaf Masonry Retained

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DRAWING No.
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Internal Side



DETAIL 1/2 - Typical window head - SECTION
1:5

DETAIL 2/2 - Typical window cill - SECTION
1:5

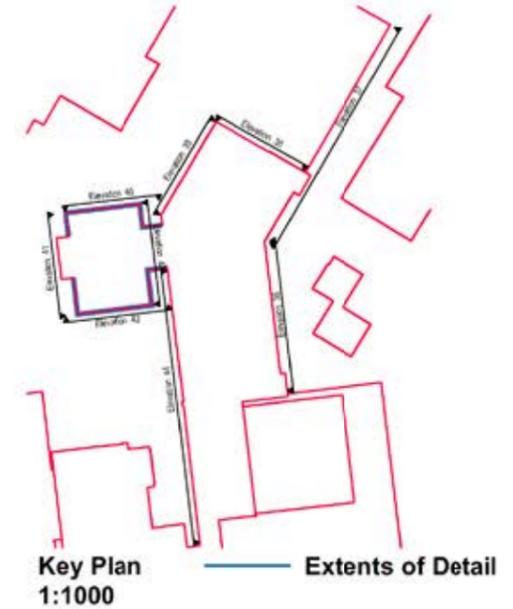
Material Reference:

1. 3mm Aluminium Cladding Cassette
A1 Non-Combustible - Valcan Vitradual
or equal - Secret fix, 15mm joints
Finish: PVDF KYNAR 500 suitable for coastal
location - Colour TBC
2. Proprietary Vertical Cladding Rails
floor to floor span. Valcan Vitrafix system or equal
to cladding sub-contractor
design
3. Non-Combustible mineral wool insulation slabs.
Rockwool rainscreen duoslab or equal to meet
U-Value
4. 100mm Existing blockwork internal leaf wall
to be retained .
5. Breather membrane
6. Existing concrete slab retained
7. Proprietary Valcan Vitrafix or equal cladding
support channel, to be fixed to new horizontal
steel member. Size TBC by cladding
sub-contractor - Where applicable -Gap
in-between insulation to be filled with
non-combustible insulation to preserve
thermal continuity.
8. min. 25mm Continuous vertical aerated
cavity60/60 min. Horizontal firestopping
suitable for ventilated rainscreen, Rockwool
OSB or equal, with intumescent expanding
edge.Firestopping around openings,
compartments and separation lines
9. New horizontal structural support, galvanised
hot rolled to S.E design.
Final position TBC. New horizontal structure
to be fixed to existing columns to S.E design .
Centres TBC. Thermal insulation from
existing to be provided to avoid cold bridging
10. Aluminium flashing to match aluminium
cladding.Finish: PVDF KYNAR 500 suitable for
coastal location - Colour TBC
11. Existing/New lintel to be retained and made
good to accommodate new windows
12. EPDM membrane overlap over breather
membrane to cladding sub-contractor design
13. 60/60 FR Vertical full fill continuous
rainscreen firestopping/cavity barrier
at corners, around openings and at
compartment lines. Max. cavity size 20 mt .
Rockwool Firestop SP or equal
14. New UPVC Window, frame colour TBC.
Windows to meet statutory U-Value as per
table
15. Where possible,internal lining to be retained
as per existing conditions,to be made good to
accept new fenestration elements.
16. External leaf to be retained, render to be
stripped, surface to be made good to accept
new cladding
17. Existing block to be removed to allow for
installation of new galv. structural outrigger to
be fixed to existing concrete columns/walls
18. New cavity closer to be installed between
existing masonry leaves upon removal of
existing fenestration
19. Existing 200mm Concrete Wall retained,
applicable to stair cores.
20. Cavity Tray/Weep Holes - Retention TBC -
as part of the lintel replacing works

NOTES ORIGINAL A3

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REVISION
A 26.03.25 Material Legend Revised GP GA



Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

PROJECT
**NHS Shetland
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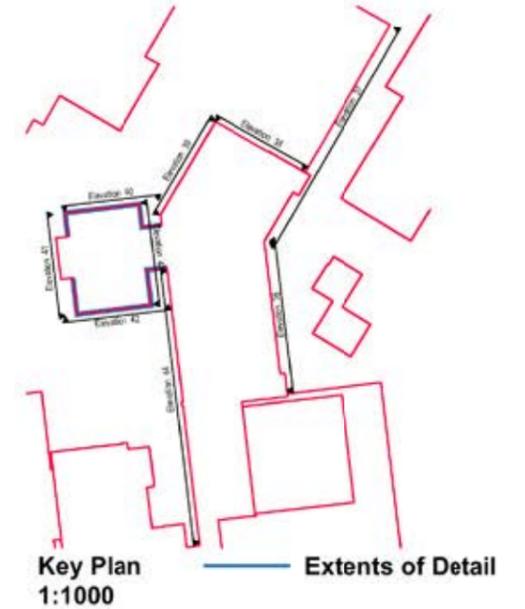
DRAWING
**SECTIONAL DETAIL - Typical Cill
and Head - Single Block Retained**

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REVISION		GP	GA
A	26.03.25 Material Legend Revised		



Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

PROJECT
**NHS Shetland
 Gilbert Bain Hospital
 External Remedial Works**

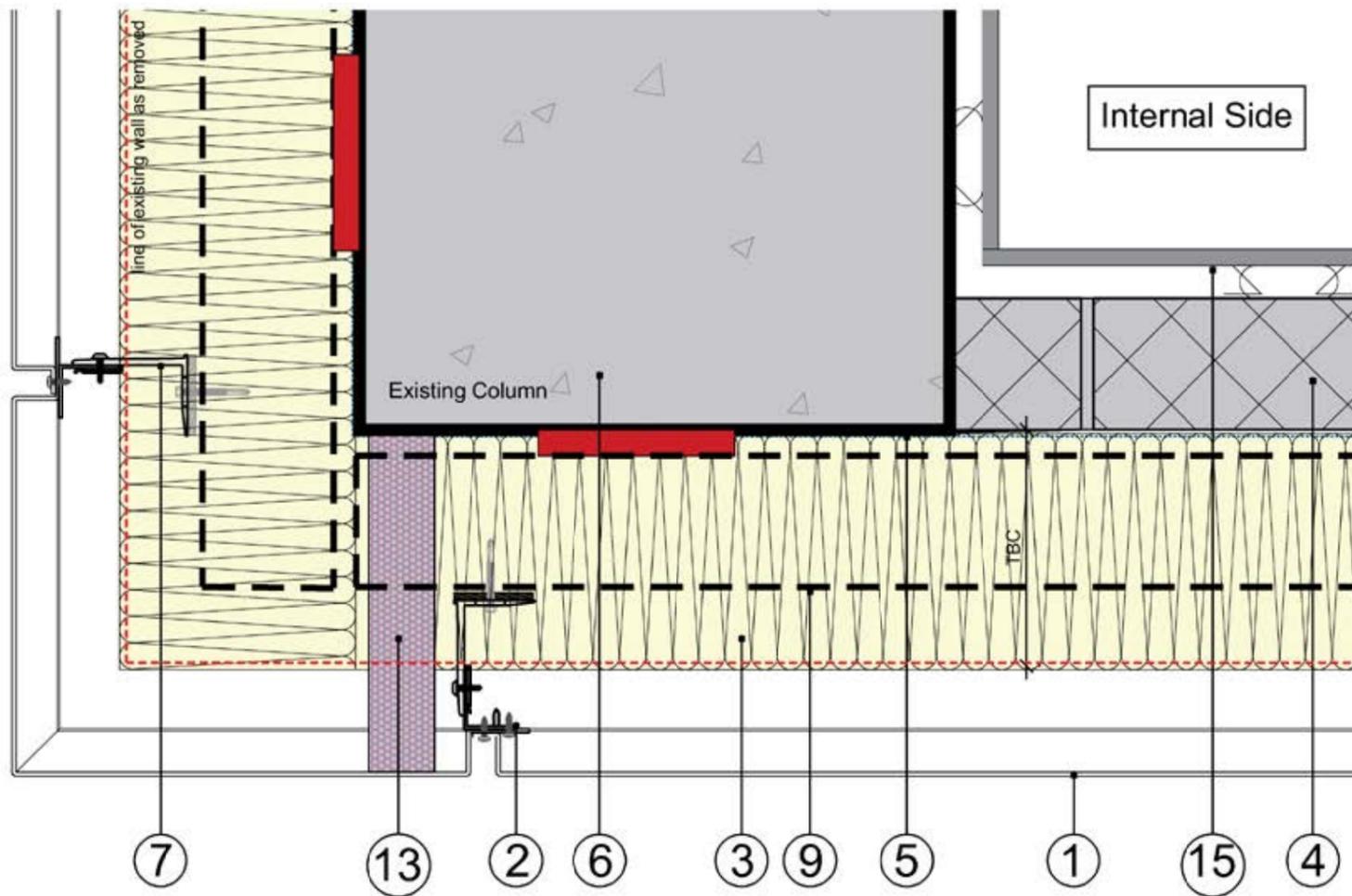
DRAWING
**PLAN DETAIL - Typical Perimeter
 Single Blockwork Leaf Retained**

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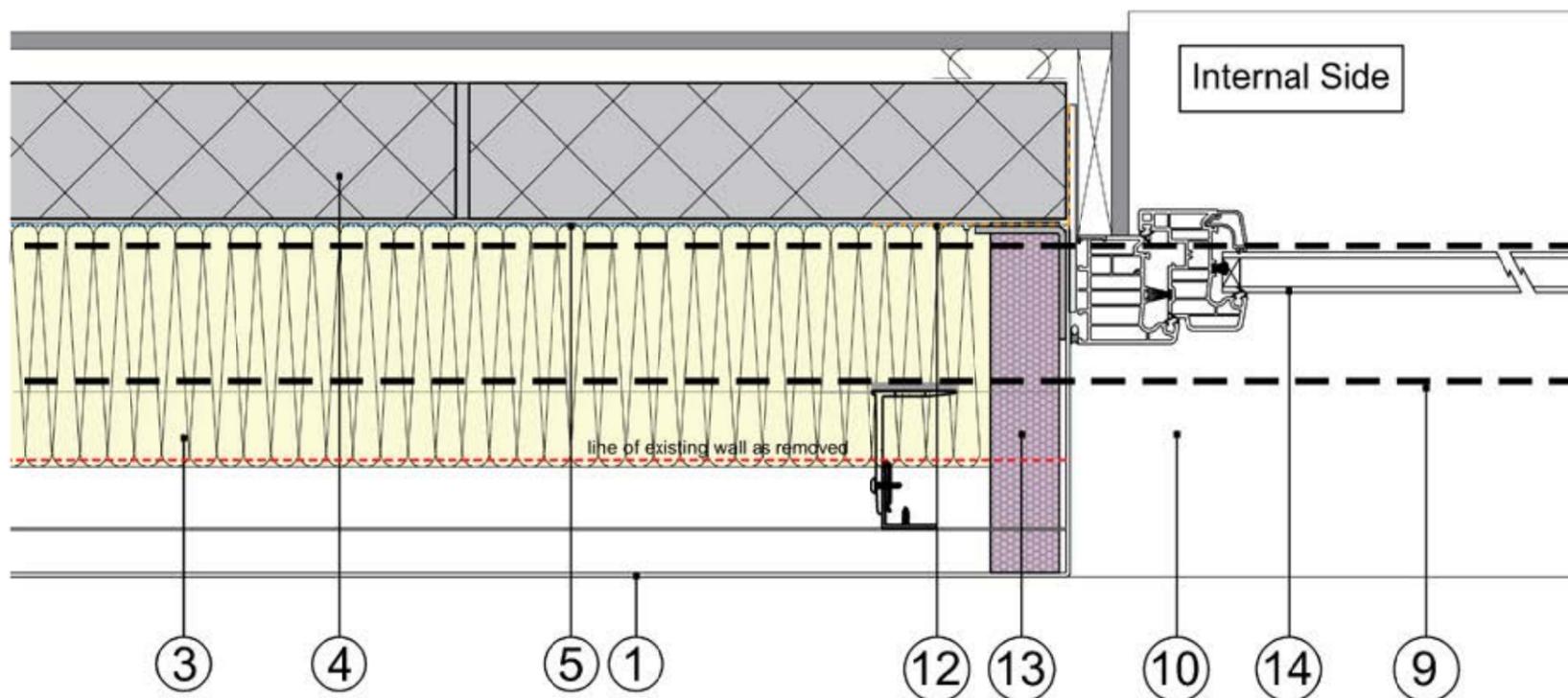
DRAWING No.
24069-21-103A

Material Reference:

- 3mm Aluminium Cladding Cassette
 A1 Non-Combustible - Valcan Vitradual or equal - Secret fix, 15mm joints
 Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
- Proprietary Vertical Cladding Rails
 floor to floor span. Valcan Vitrafix system or equal to cladding sub-contractor design
- Non-Combustible mineral wool insulation slabs. Rockwool rainscreen duoslab or equal to meet U-Value
- 100mm Existing blockwork internal leaf wall to be retained .
- Breather membrane
- Existing concrete column retained
- Proprietary Valcan Vitrafix or equal cladding support channel, to be fixed to new horizontal steel member. Size TBC by cladding sub-contractor - Where applicable -Gap in-between insulation to be filled with non-combustible insulation to preserve thermal continuity.
- min. 25mm Continuous vertical aerated cavity60/60 min. Horizontal firestopping suitable for ventilated rainscreen, Rockwool OSB or equal, with intumescent expanding edge.Firestopping around openings, compartments and separation lines
- New horizontal structural support, galvanised hot rolled to S.E design.
 Final position TBC. New horizontal structure to be fixed to existing columns to S.E design . Centres TBC. Thermal insulation from existing to be provided to avoid cold bridging
- Aluminium flashing to match aluminium cladding.Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
- Existing/New lintel to be retained and made good to accommodate new windows
- EPDM membrane overlap over breather membrane to cladding sub-contractor design
- 60/60 FR Vertical full fill continuous rainscreen firestopping/cavity barrier at corners, around openings and at compartment lines. Max. cavity size 20 mt . Rockwool Firestop SP or equal
- New UPVC Window, frame colour TBC. Windows to meet statutory U-Value as per table
- Where possible,internal lining to be retained as per existing conditions,to be made good to accept new fenestration elements.
- External leaf to be retained, render to be stripped, surface to be made good to accept new cladding
- Existing block to be removed to allow for installation of new galv. structural outrigger to be fixed to existing concrete columns/walls
- New cavity closer to be installed between existing masonry leaves upon removal of existing fenestration
- Existing 200mm Concrete Wall retained, applicable to stair cores.
- Cavity Tray/Weep Holes - Retention TBC - as part of the lintel replacing works

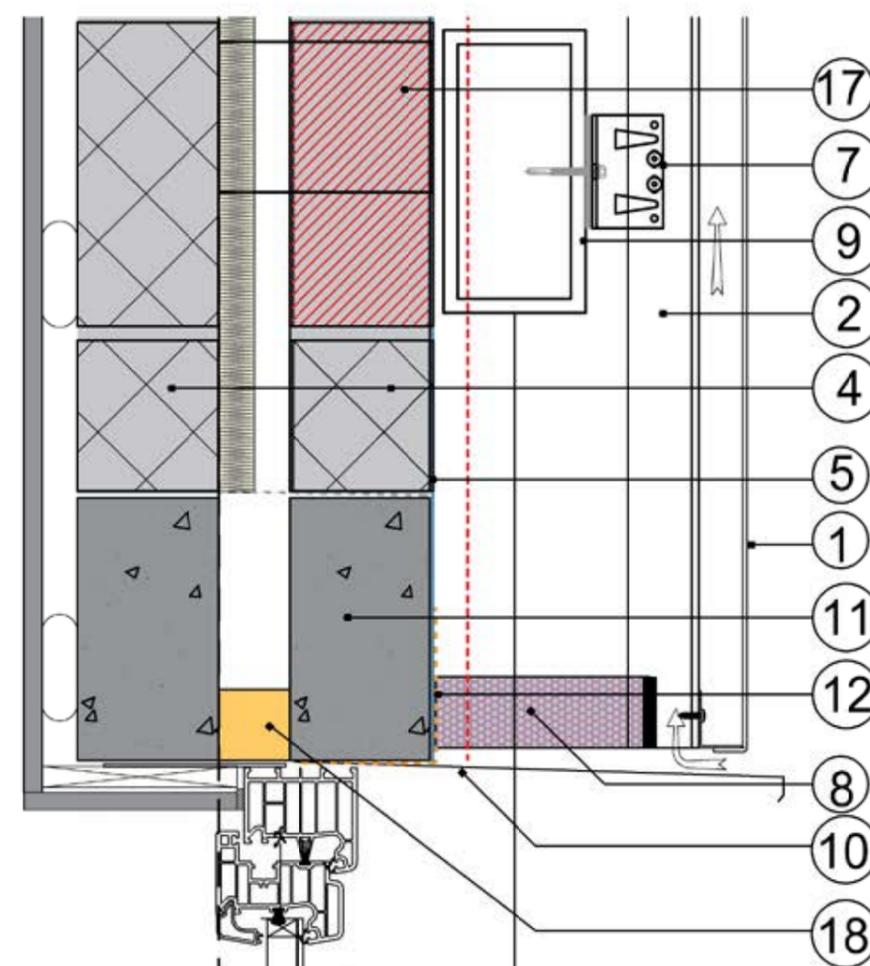


DETAIL 1/2 - Typical Corner - PLAN 1:5



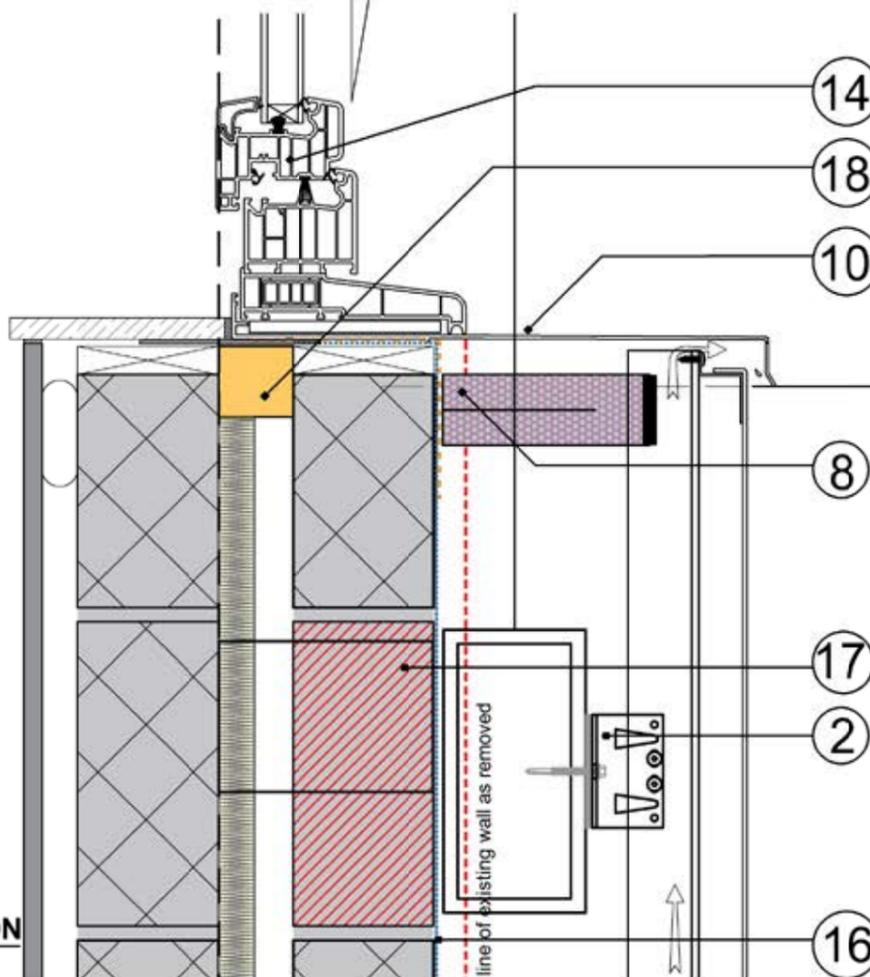
DETAIL - Typical Window Jamb - PLAN 1:5

Internal Side



DETAIL 1/2 - Typical window head - SECTION
1:5

notional projection line of existing columns



DETAIL 2/2 - Typical window cill - SECTION
1:5

Panel Module < 1200mm

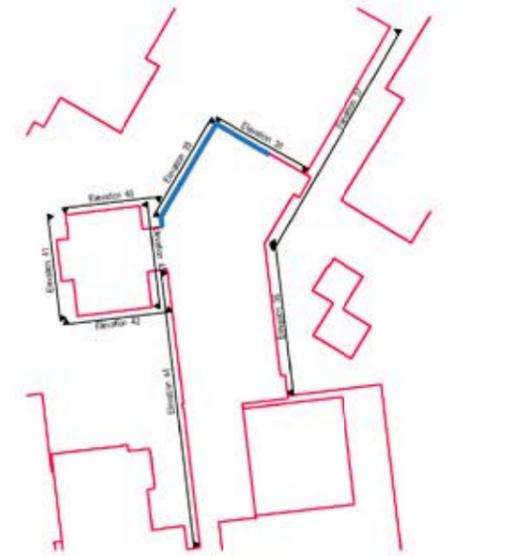
Material Reference:

1. 3mm Aluminium Cladding Cassette
A1 Non-Combustible - Valcan Vitradual or equal - Secret fix, 15mm joints
Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
2. Proprietary Vertical Cladding Rails
floor to floor span. Valcan Vitrafix system or equal to cladding sub-contractor design
3. Non-Combustible mineral wool insulation slabs. Rockwool rainscreen duoslab or equal to meet U-Value
4. 100mm Existing blockwork internal leaf wall to be retained .
5. Breather membrane
6. Existing concrete slab retained
7. Proprietary Valcan Vitrafix or equal cladding support channel, to be fixed to new horizontal steel member. Size TBC by cladding sub-contractor - Where applicable -Gap in-between insulation to be filled with non-combustible insulation to preserve thermal continuity.
8. min. 25mm Continuous vertical aerated cavity60/60 min. Horizontal firestopping suitable for ventilated rainscreen, Rockwool OSB or equal, with intumescent expanding edge. Firestopping around openings, compartments and separation lines
9. New horizontal structural support, galvanised hot rolled to S.E design.
Final position TBC. New horizontal structure to be fixed to existing columns to S.E design . Centres TBC. Thermal insulation from existing to be provided to avoid cold bridging
10. Aluminium flashing to match aluminium cladding. Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
11. Existing/New lintel to be retained and made good to accommodate new windows
12. EPDM membrane overlap over breather membrane to cladding sub-contractor design
13. 60/60 FR Vertical full fill continuous rainscreen firestopping/cavity barrier at corners, around openings and at compartment lines. Max. cavity size 20 mt . Rockwool Firestop SP or equal
14. New UPVC Window, frame colour TBC. Windows to meet statutory U-Value as per table
15. Where possible, internal lining to be retained as per existing conditions, to be made good to accept new fenestration elements.
16. External leaf to be retained, render to be stripped, surface to be made good to accept new cladding
17. Existing block to be removed to allow for installation of new galv. structural outrigger to be fixed to existing concrete columns/walls
18. New cavity closer to be installed between existing masonry leaves upon removal of existing fenestration
19. Existing 200mm Concrete Wall retained, applicable to stair cores.
20. Cavity Tray/Weep Holes - Retention TBC - as part of the lintel replacing works

NOTES ORIGINAL A3

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REVISION
A 26.03.25 Material Legend Revised. GP GA



Key Plan 1:1000 Extents of Detail

Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

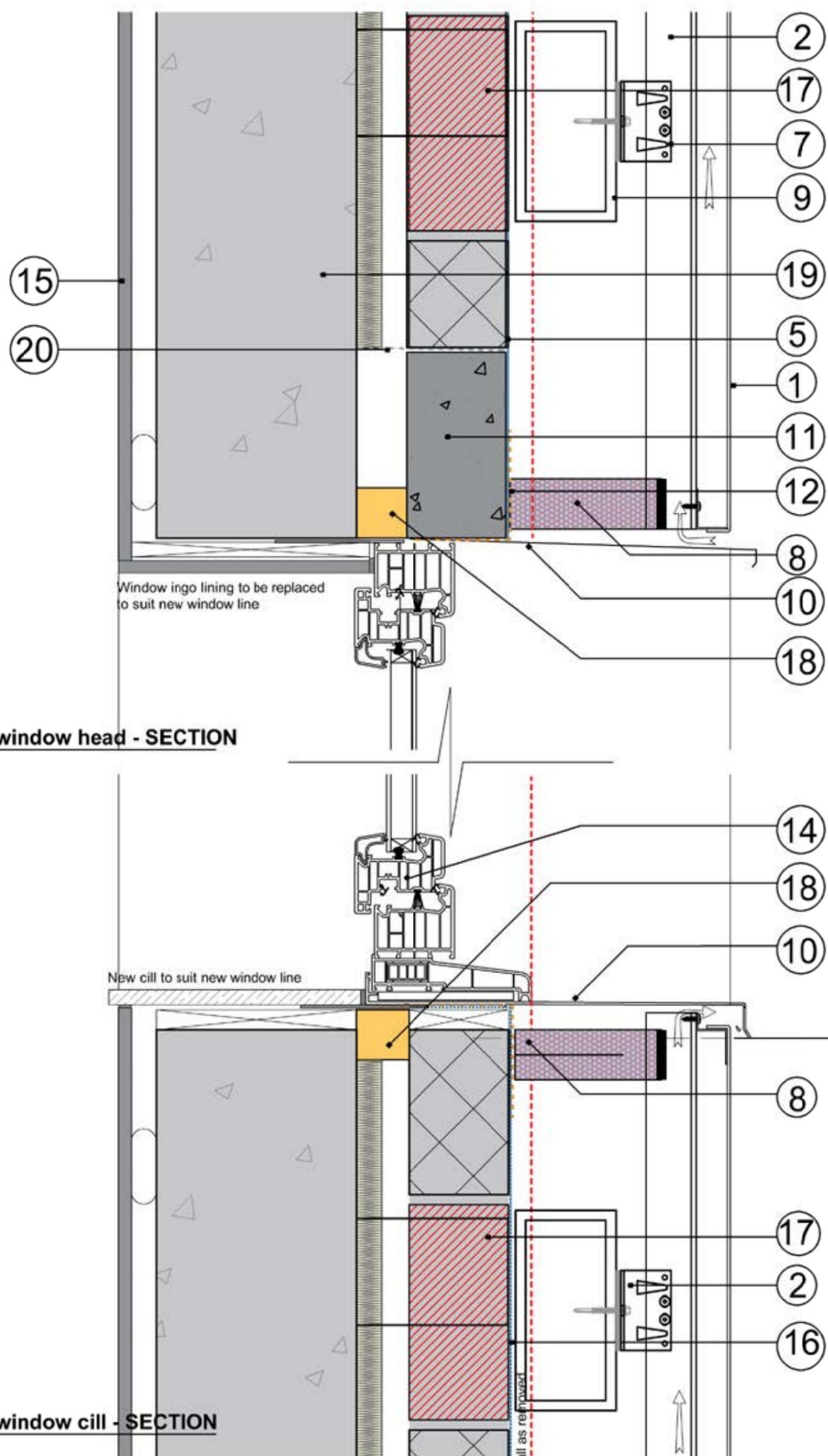
PROJECT
NHS Shetland
Gilbert Bain Hospital
External Remedial Works

DRAWING
SECTIONAL DETAIL - Typical Cill and Head -

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DRAWING No.
24069-21-104A

Internal Side



DETAIL 1/2 - Typical window head - SECTION 1:5

DETAIL 2/2 - Typical window cill - SECTION 1:5

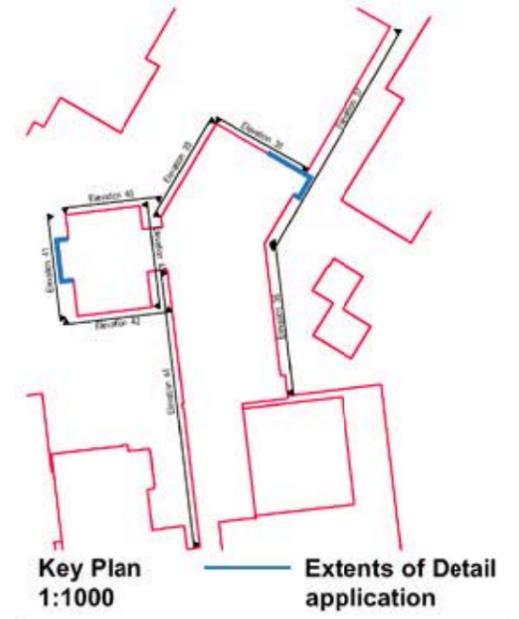
Material Reference:

1. 3mm Aluminium Cladding Cassette
A1 Non-Combustible - Valcan Vitradual or equal - Secret fix, 15mm joints
Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
2. Proprietary Vertical Cladding Rails
floor to floor span. Valcan Vitrafix system or equal to cladding sub-contractor design
3. Non-Combustible mineral wool insulation slabs. Rockwool rainscreen duoslab or equal to meet U-Value
4. 100mm Existing blockwork internal leaf wall to be retained .
5. Breather membrane
6. Existing concrete slab retained
7. Proprietary Valcan Vitrafix or equal cladding support channel, to be fixed to new horizontal steel member. Size TBC by cladding sub-contractor - Where applicable -Gap in-between insulation to be filled with non-combustible insulation to preserve thermal continuity.
8. min. 25mm Continuous vertical aerated cavity60/60 min. Horizontal firestopping suitable for ventilated rainscreen, Rockwool OSB or equal, with intumescent expanding edge. Firestopping around openings, compartments and separation lines
9. New horizontal structural support, galvanised hot rolled to S.E design.
Final position TBC. New horizontal structure to be fixed to existing columns to S.E design . Centres TBC. Thermal insulation from existing to be provided to avoid cold bridging
10. Aluminium flashing to match aluminium cladding. Finish: PVDF KYNAR 500 suitable for coastal location - Colour TBC
11. Existing/New lintel to be retained and made good to accommodate new windows
12. EPDM membrane overlap over breather membrane to cladding sub-contractor design
13. 60/60 FR Vertical full fill continuous rainscreen firestopping/cavity barrier at corners, around openings and at compartment lines. Max. cavity size 20 mt . Rockwool Firestop SP or equal
14. New UPVC Window, frame colour TBC. Windows to meet statutory U-Value as per table
15. Where possible, internal lining to be retained as per existing conditions, to be made good to accept new fenestration elements.
16. External leaf to be retained, render to be stripped, surface to be made good to accept new cladding
17. Existing block to be removed to allow for installation of new galv. structural outrigger to be fixed to existing concrete columns/walls
18. New cavity closer to be installed between existing masonry leaves upon removal of existing fenestration
19. Existing 200mm Concrete Wall retained, applicable to stair cores.
20. Cavity Tray/Weep Holes - Retention TBC - as part of the lintel replacing works

NOTES ORIGINAL A3

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REVISION
A 26.03.25 Material Legend Revised. GP GA



Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

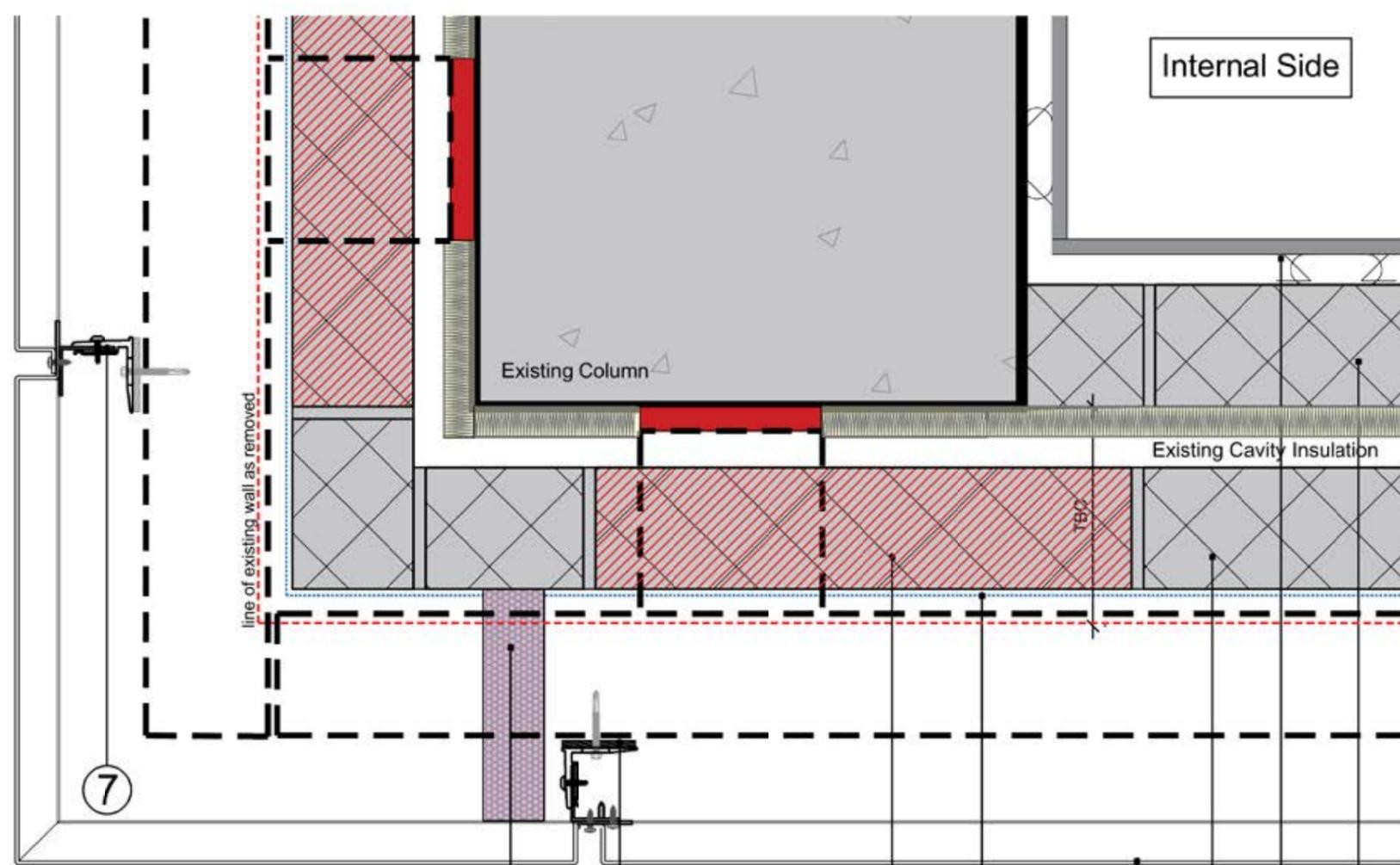
SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

PROJECT
**NHS Shetland
Gilbert Bain Hospital
External Remedial Works**

DRAWING
**SECTIONAL DETAIL - Typical Cill
and Head - Concrete Cores**

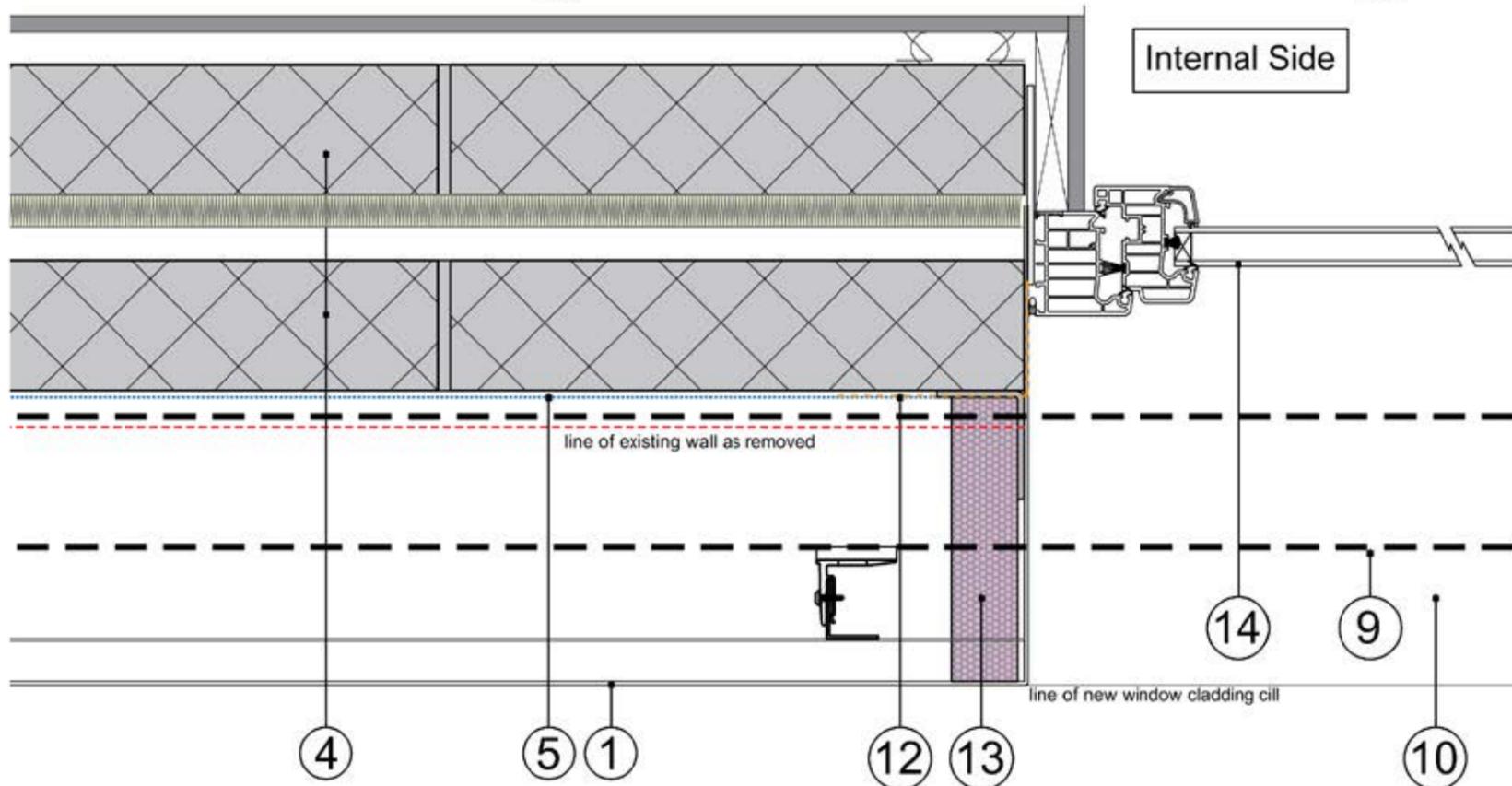
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Architecture**
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DRAWING No.
24069-21-105A



DETAIL 1/2 - Typical Corner - PLAN
1:5

13 2 17 5 1 9 15 4



DETAIL - Typical Window Jamb - PLAN
1:5

4 5 1 12 13 14 9 10

Internal Side

Internal Side

Material Reference:

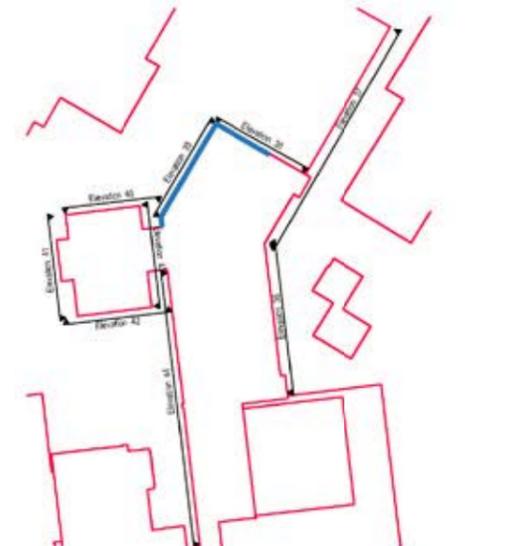
1. 3mm Aluminium Cladding Cassette
A1 Non-Combustible - Valcan Vitradual
or equal - Secret fix, 15mm joints
Finish: PVDF KYNAR 500 suitable for coastal
location - Colour TBC
2. Proprietary Vertical Cladding Rails
floor to floor span. Valcan Vitrafix system or equal
to cladding sub-contractor
design
3. Non-Combustible mineral wool insulation slabs.
Rockwool rainscreen duoslab or equal to meet
U-Value
4. 100mm Existing blockwork internal leaf wall
to be retained .
5. Breather membrane
6. Existing concrete slab retained
7. Proprietary Valcan Vitrafix or equal cladding
support channel, to be fixed to new horizontal
steel member. Size TBC by cladding
sub-contractor - Where applicable -Gap
in-between insulation to be filled with
non-combustible insulation to preserve
thermal continuity.
8. min. 25mm Continuous vertical aerated
cavity60/60 min. Horizontal firestopping
suitable for ventilated rainscreen, Rockwool
OSB or equal, with intumescent expanding
edge.Firestopping around openings,
compartments and separation lines
9. New horizontal structural support, galvanised
hot rolled to S.E design.
Final position TBC. New horizontal structure
to be fixed to existing columns to S.E design .
Centres TBC. Thermal insulation from
existing to be provided to avoid cold bridging
10. Aluminium flashing to match aluminium
cladding.Finish: PVDF KYNAR 500 suitable for
coastal location - Colour TBC
11. Existing/New lintel to be retained and made
good to accommodate new windows
12. EPDM membrane overlap over breather
membrane to cladding sub-contractor design
13. 60/60 FR Vertical full fill continuous
rainscreen firestopping/cavity barrier
at corners, around openings and at
compartment lines. Max. cavity size 20 mt .
Rockwool Firestop SP or equal
14. New UPVC Window, frame colour TBC.
Windows to meet statutory U-Value as per
table
15. Where possible,internal lining to be retained
as per existing conditions,to be made good to
accept new fenestration elements.
16. External leaf to be retained, render to be
stripped, surface to be made good to accept
new cladding
17. Existing block to be removed to allow for
installation of new galv. structural outrigger to
be fixed to existing concrete columns/walls
18. New cavity closer to be installed between
existing masonry leaves upon removal of
existing fenestration
19. Existing 200mm Concrete Wall retained,
applicable to stair cores.
20. Cavity Tray/Weep Holes - Retention TBC -
as part of the lintel replacing works

NOTES ORIGINAL A3

All levels and dimensions to be checked on site prior to
construction / fabrication; report discrepancies immediately.
Do not scale dimensions from this drawings.
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REVISION

A 26.03.25 Material Legend Revised. GP GA



Key Plan
1:1000
Extents of Detail

**Targeted U-Values (statutory
requirements to table 6.2.1)**

Building Control to confirm target:

Walls:	0.21 W/m ² K
Floors:	0.18 W/m ² K
Roof:	0.16 W/m ² K
Windows:	1.61 W/m ² K
Pedestrian Doors:	1.4 W/m ² K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A3	Jan'25	GP	GA

PROJECT

NHS Shetland
Gilbert Bain Hospital
External Remedial Works

DRAWING

PLAN DETAIL - Typical Perimeter
Double Blockwork Leaf Retained

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Architecture**

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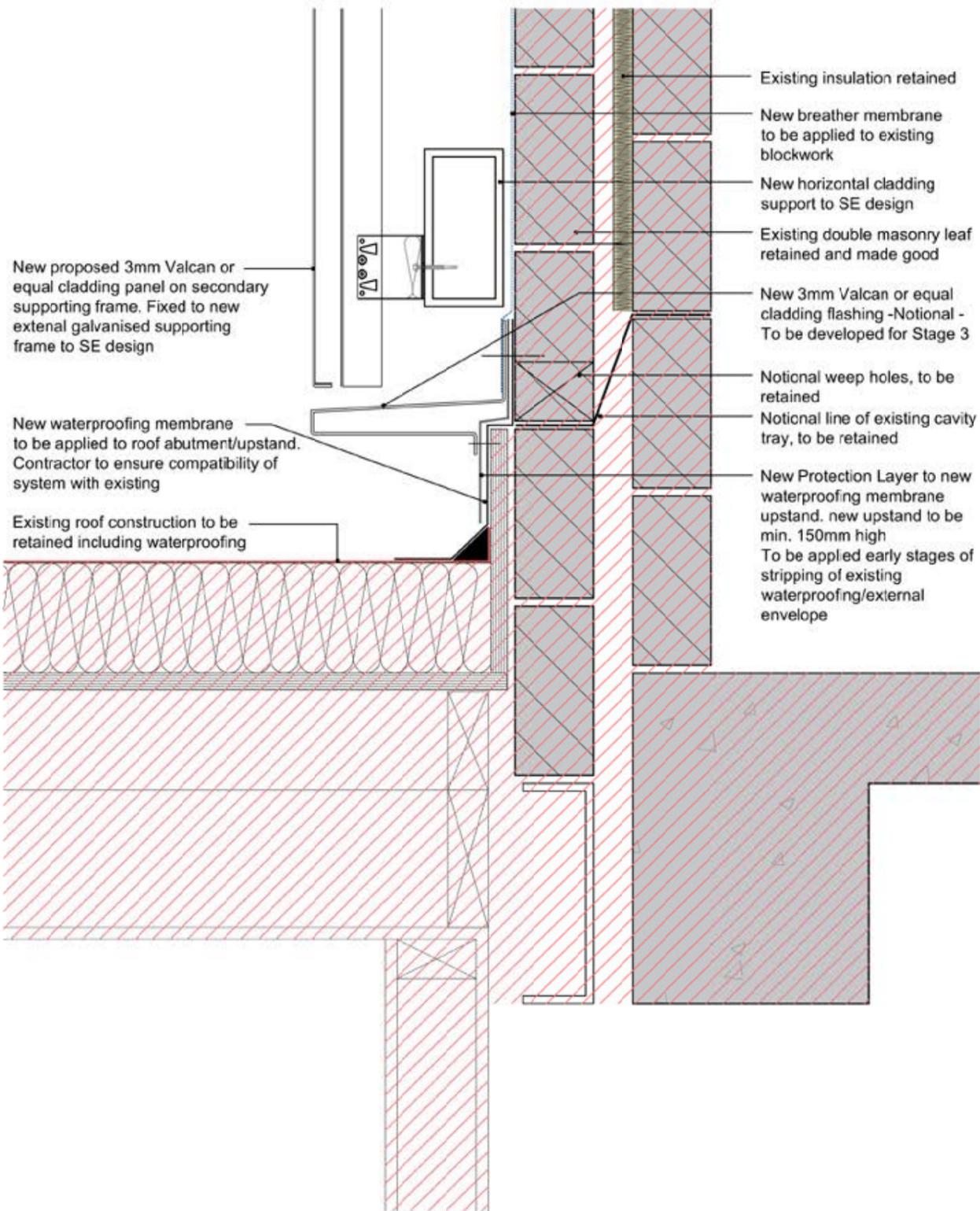
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DRAWING No.

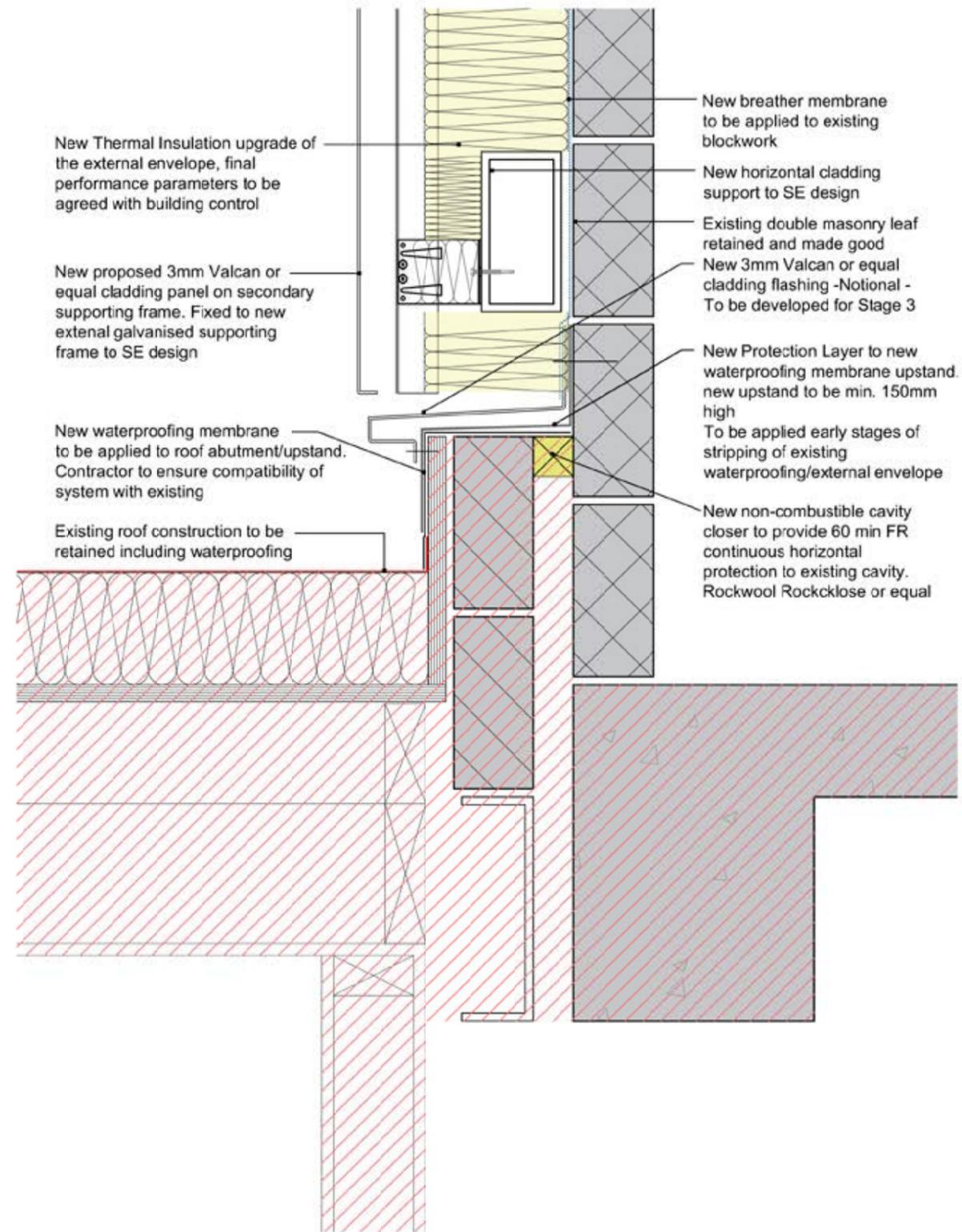
24069-21-107A

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REVISION



Detail 1 - Double Masonry leaf
1:5



Detail 2 - Single Masonry Leaf (external leaf removed)
1:5

 Existing construction to be retained and made good to accept new proposed external envelope changes

Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m²K
Floors:	0.18 W/m²K
Roof:	0.16 W/m²K
Windows:	1.61 W/m²K
Pedestrian Doors:	1.4 W/m²K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A2	May'25	GP	GA

PROJECT
NHS Scotland
Gilbert Bain Hospital
External Remedial Works

DRAWING
DETAIL - Typical Existing Roof abutment junction as proposed

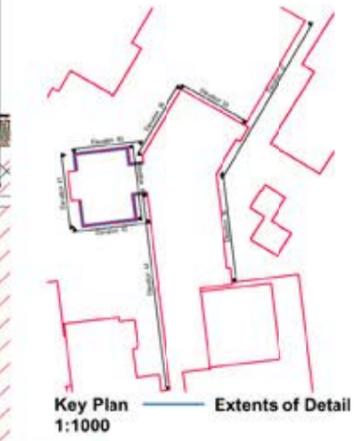
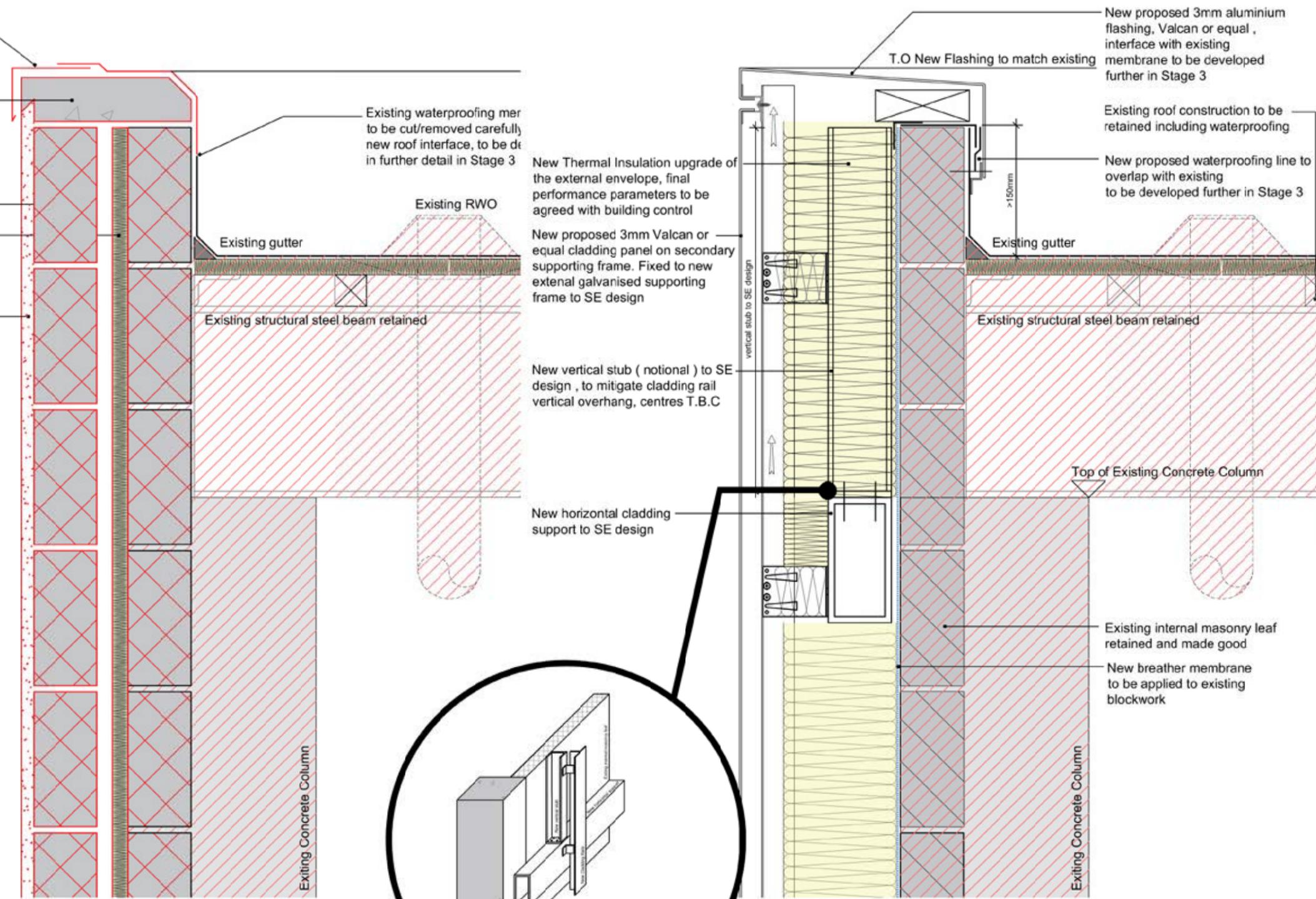

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DRAWING No.
24069A-21-108

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REVISION

- Existing metal trim to be removed to suit new proposed arrangement
- Existing concrete coping and flashing to be removed, top of retained wall to be made good to accommodate new proposed metal cladding and ancillary elements
- Existing external masonry leaf to be removed
- Existing partial fill insulation to be removed, exposed surface to be made good to accommodate new breather membrane
- Existing render to be removed



- Existing construction to be retained and made good to accept new proposed external envelope changes

Targeted U-Values (statutory requirements to table 6.2.1)
Building Control to confirm target:

Walls:	0.21 W/m²K
Floors:	0.18 W/m²K
Roof:	0.16 W/m²K
Windows:	1.61 W/m²K
Pedestrian Doors:	1.4 W/m²K

STAGE 2

SCALE	DATE	DRAWN	CHECKED
1:5@A2	May'25	GP	GA

PROJECT
 NHS Scotland
 Gilbert Bain Hospital
 External Remedial Works

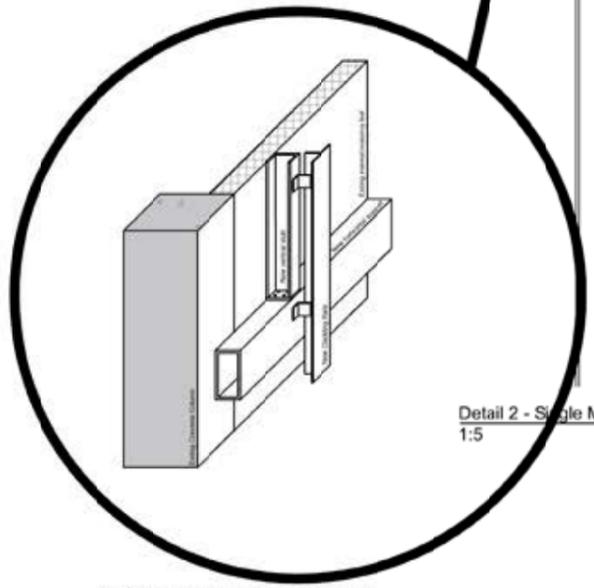
DRAWING
 DETAIL - Typical Roof Parapet
 External leaf removed as proposed

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 G1 1RE
 0141 229 7575
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DRAWING No.
 24069A-21-109

Detail 1 - Double Masonry leaf as existing/ dountakings
 1:5

Detail 2 - Single Masonry Leaf proposed parapet (external leaf removed) as proposed
 1:5



Notional Structural Support at parapet level



- Notes
- All dimensions are in metres unless noted otherwise.
 - All levels are in metres unless noted otherwise.

Key to symbols

- 150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
- 300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
- - - Internal 150 x 75 x 18 PFC (S275) (Isolated Members)
- Internal 150 x 75 x 18 PFC (S275) (Isolated Members)

P2

Reference drawings

- MMD-100106891 NH04-S-DR-00-02-100 - Second Floor Plan
- MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
- MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
- MMD-100106891 NH04-S-DR-00-XX-102 - Connection Details (Sheet 1 of 3)
- MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)
- MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)

P2	05:25	EW	Key Revised	NP	JM
P1	05:25	EW	Preliminary Issue	NP	JM
Rev	Date	Drawn	Description	Ch'k'd	App'd

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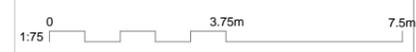
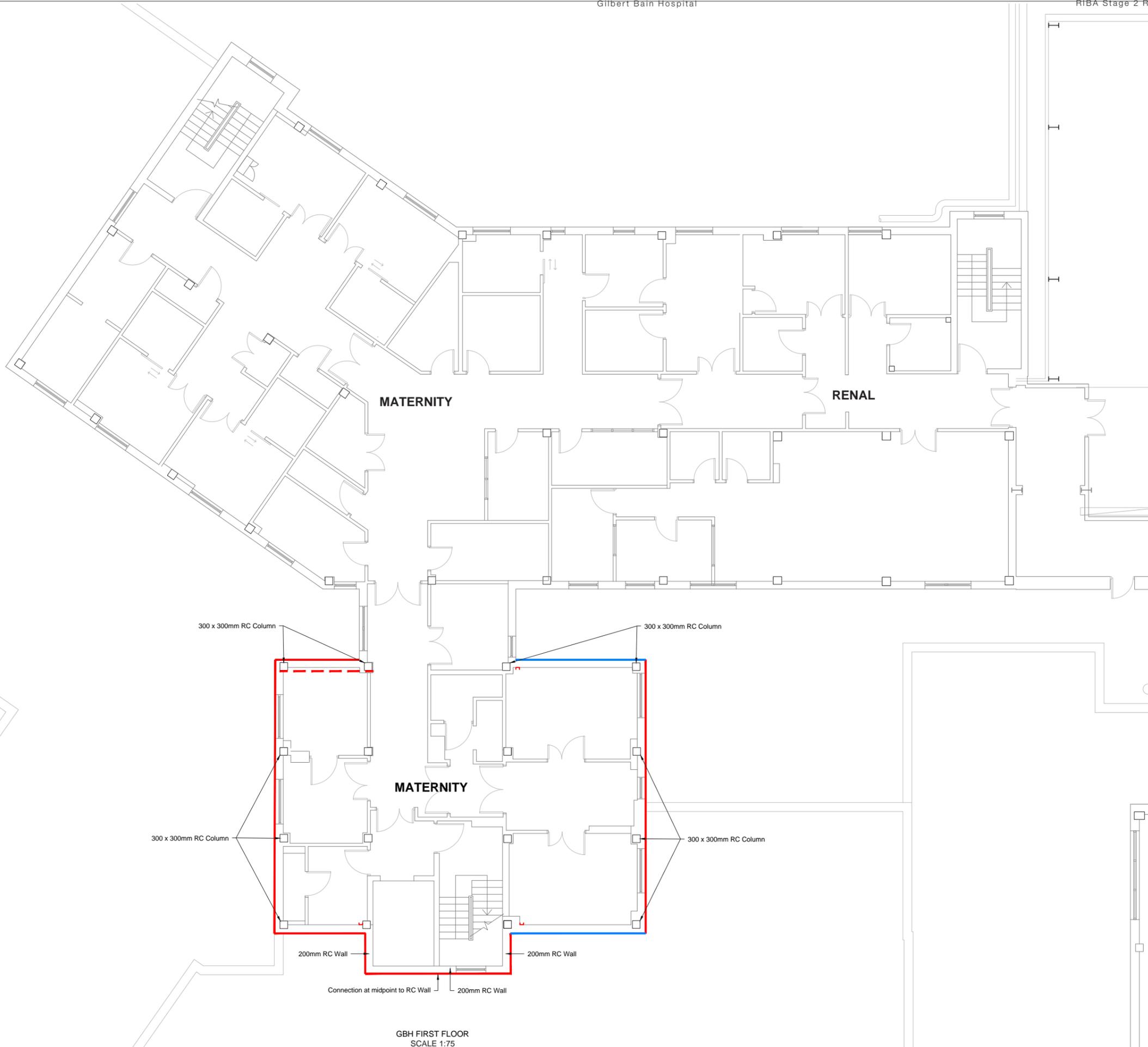
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Client
NHS Shetland
Gilbert Bain Hospital
South Road
Lerwick
ZE1 0TB

Title
Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
First Floor Plan

Designed	N Pearson	NP	Eng check	A Stout	AS
Drawn	E Wishart	EW	Coordination	N Pearson	NP
Dwg check	N Pearson	NP	Approved	J Moncrieff	JM
Scale at A1	Status	Rev	Security		
1:75	PRE	P2	STD		

Drawing Number
MMD-100106891 NH04-S-DR-00-01-100



Notes

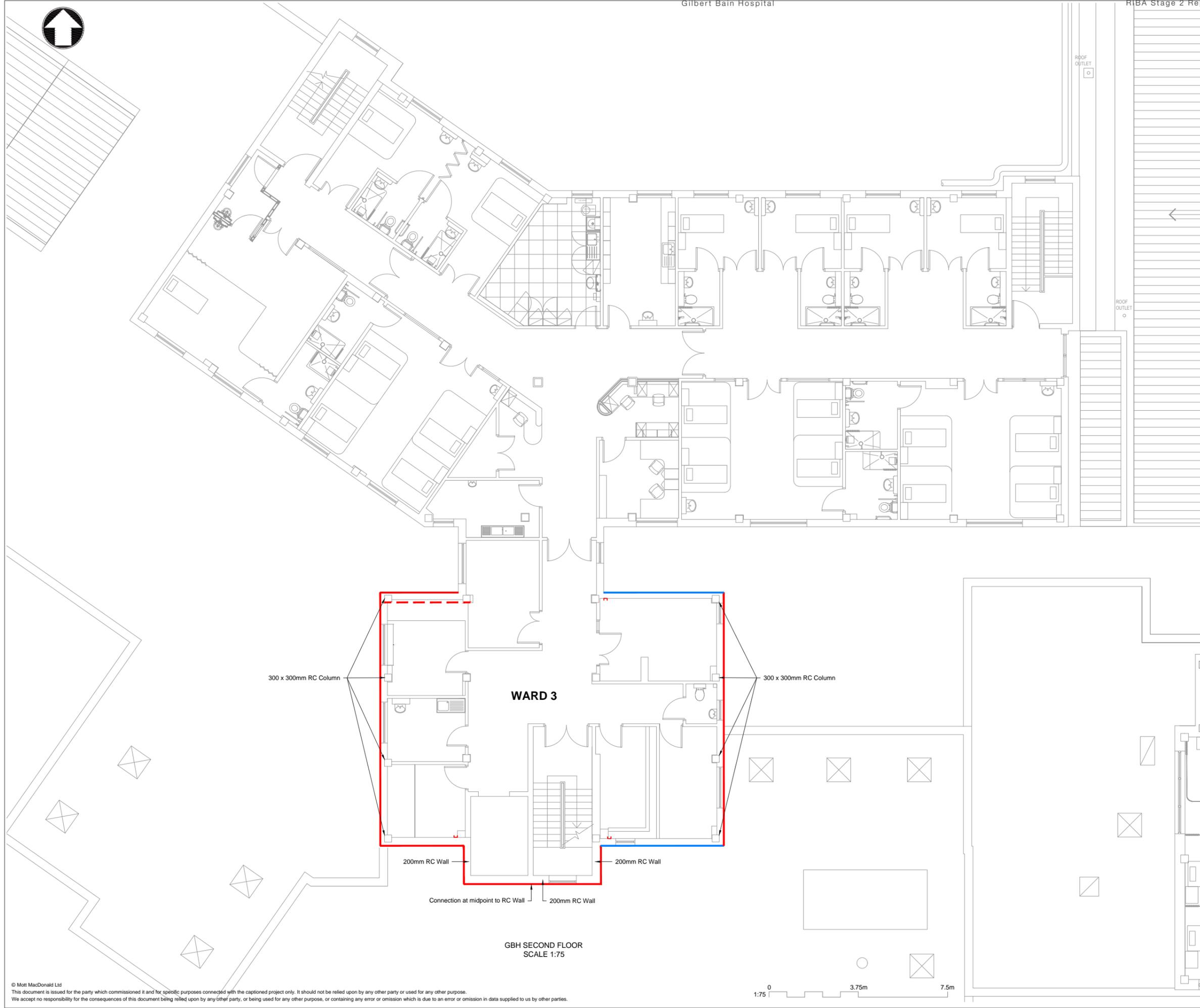
- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.

Key to symbols

- 150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
- 300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
- Internal 150 x 75 x 18 PFC (S275) (Isolated Members)
- Internal 150 x 75 x 18 PFC (S275) (Isolated Members)

Reference drawings

- MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
- MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
- MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
- MMD-100106891 NH04-S-DR-00-XX-102 - Connection Details (Sheet 1 of 3)
- MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)
- MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)



P2	05:25	EW	Key Revised	NP	JM
P1	05:25	EW	Preliminary Issue	NP	JM
Rev	Date	Drawn	Description	Ch'k'd	App'd

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Client

NHS Shetland
Gilbert Bain Hospital
South Road
Lerwick
ZE1 0TB

Title

Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
Second Floor Plan

Designed	N Pearson	NP	Eng check	A Stout	AS
Drawn	E Wishart	EW	Coordination	N Pearson	NP
Dwg check	N Pearson	NP	Approved	J Moncrieff	JM
Scale at A1	1:75	Status	PRE	Rev	P2
				Security	STD
Drawing Number MMD-100106891 NH04-S-DR-00-02-100					



Notes

- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.

Key to symbols

- 150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
- 300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
- [Internal 300 x 90 x 41 PFC (S275) (Isolated Members)

Reference drawings

- MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
- MMD-100106891 NH04-S-DR-00-02-100 - Second Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
- MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
- MMD-100106891 NH04-S-DR-00-XX-102 - Connection Details (Sheet 1 of 3)
- MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)
- MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)

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Rev	Date	Drawn	Description	Ch'k'd	App'd

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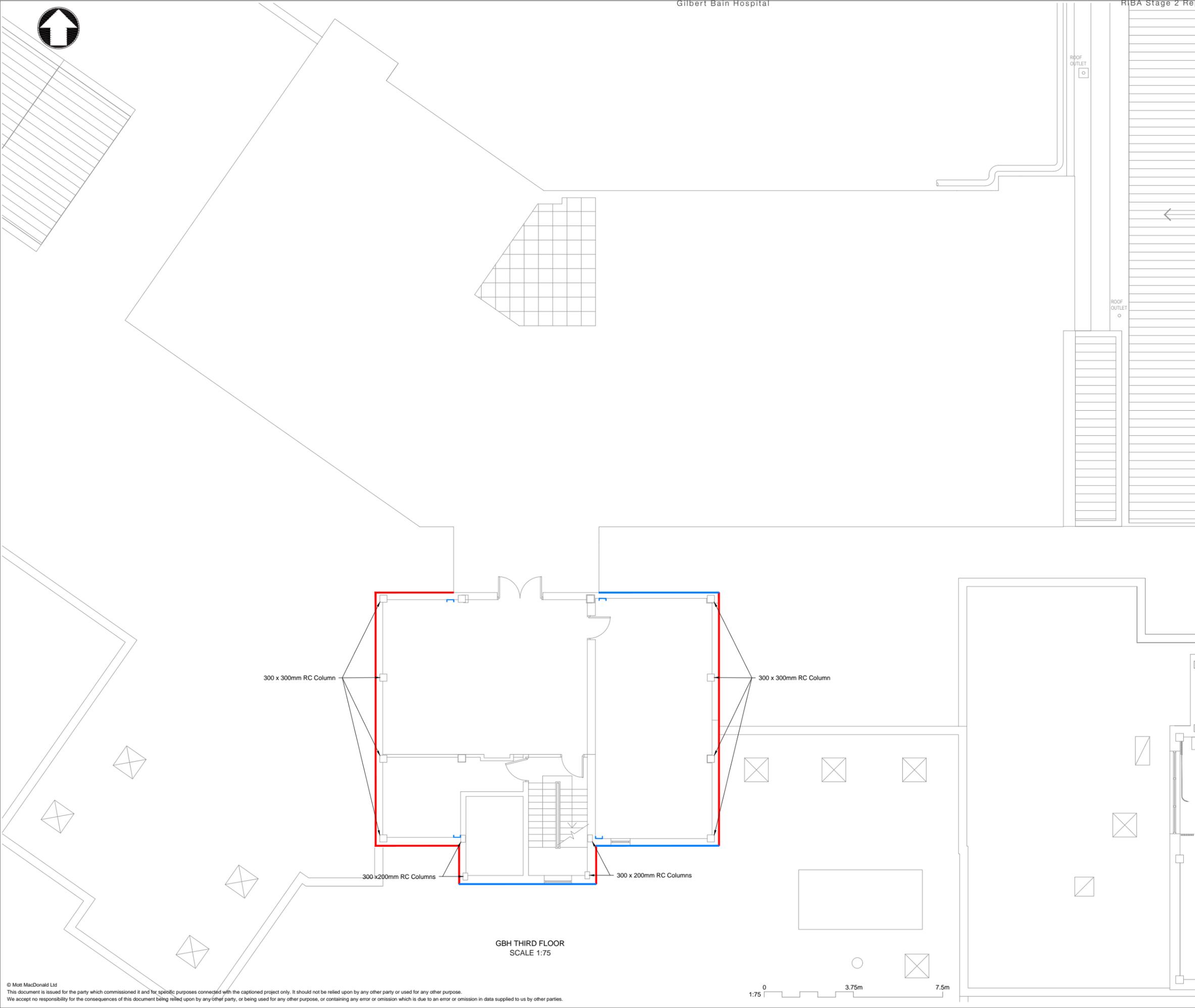
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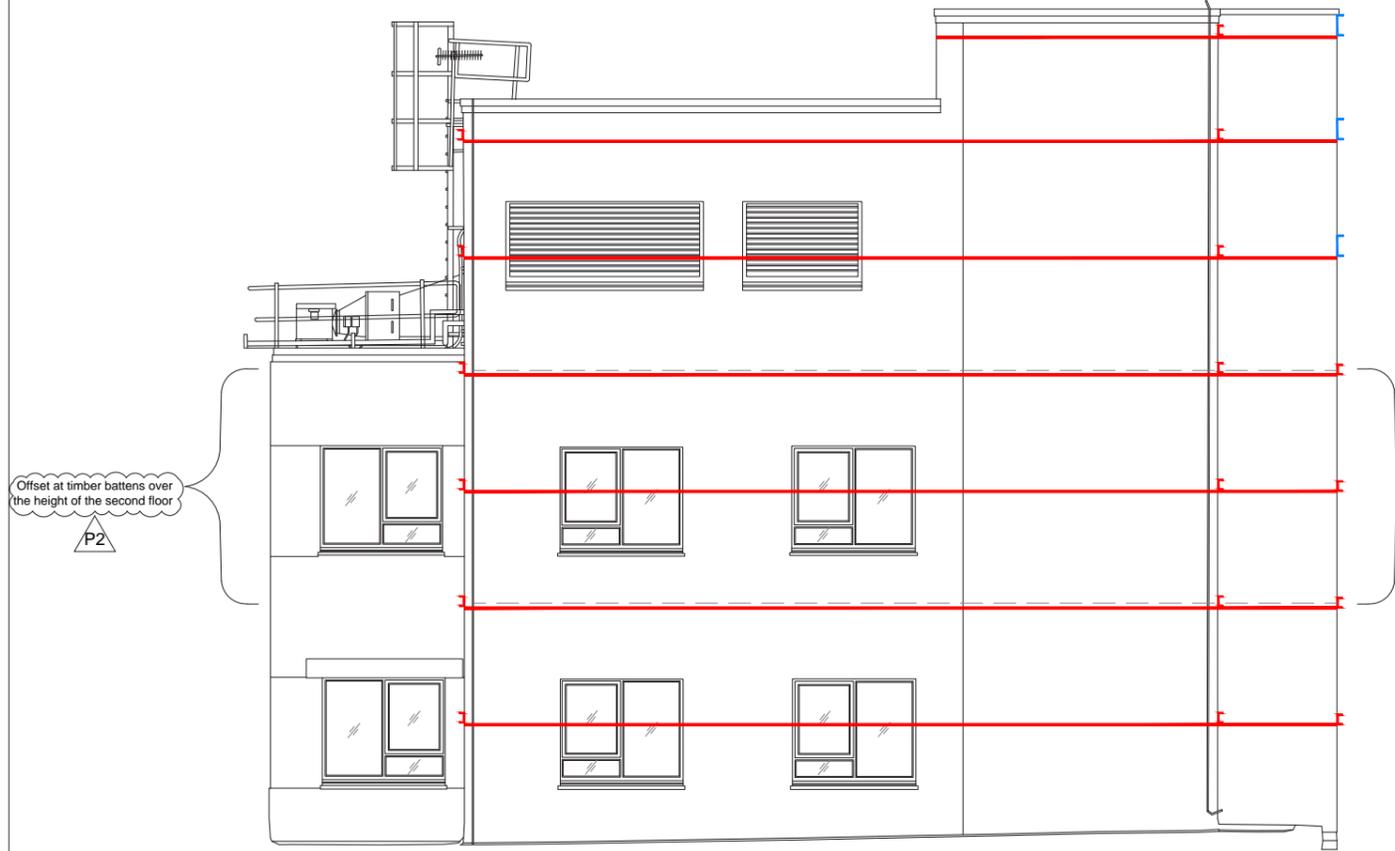
Title
**Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
Third Floor Plan**

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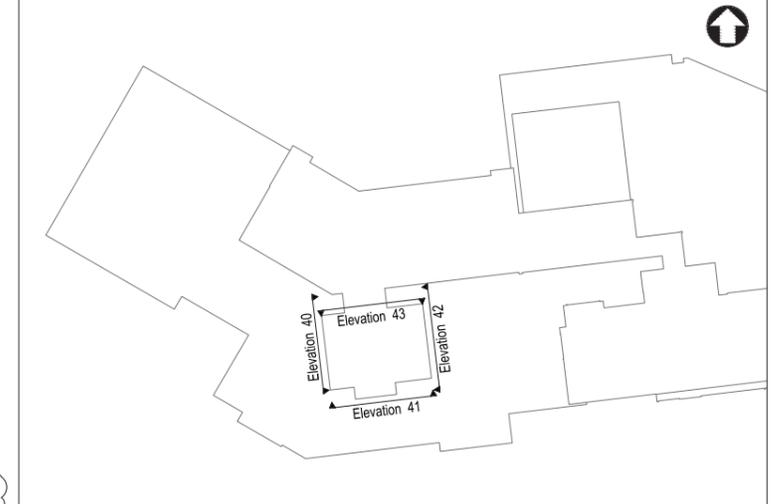
Drawing Number
MMD-100106891 NH04-S-DR-00-03-100



**GBH THIRD FLOOR
SCALE 1:75**



ELEVATION 40
FOUR STOREY WEST ELEVATION
SCALE 1:50



GILBERT BAIN HOSPITAL
ELEVATION LOCATION PLAN
SCALE 1:500

Notes

- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.

Key to symbols

	150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
	300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
	150 x 75 x 18 PFC (S275) Internal PFC (Isolated Members)
	300 x 90 x 41 PFC (S275) Internal PFC (Isolated Members)
	150 x 75 x 18 PFC (S275) at 1.65m Vertical Centers
	300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers

Reference drawings

- MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
- MMD-100106891 NH04-S-DR-00-02-100 - Second Floor Plan
- MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
- MMD-100106891 NH04-S-DR-00-XX-102 - Connection Details (Sheet 1 of 3)
- MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)
- MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)

Rev	Date	Drawn	Description	Ch'kd	App'd
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P1	05:25	EW	Preliminary Issue	NP	JM

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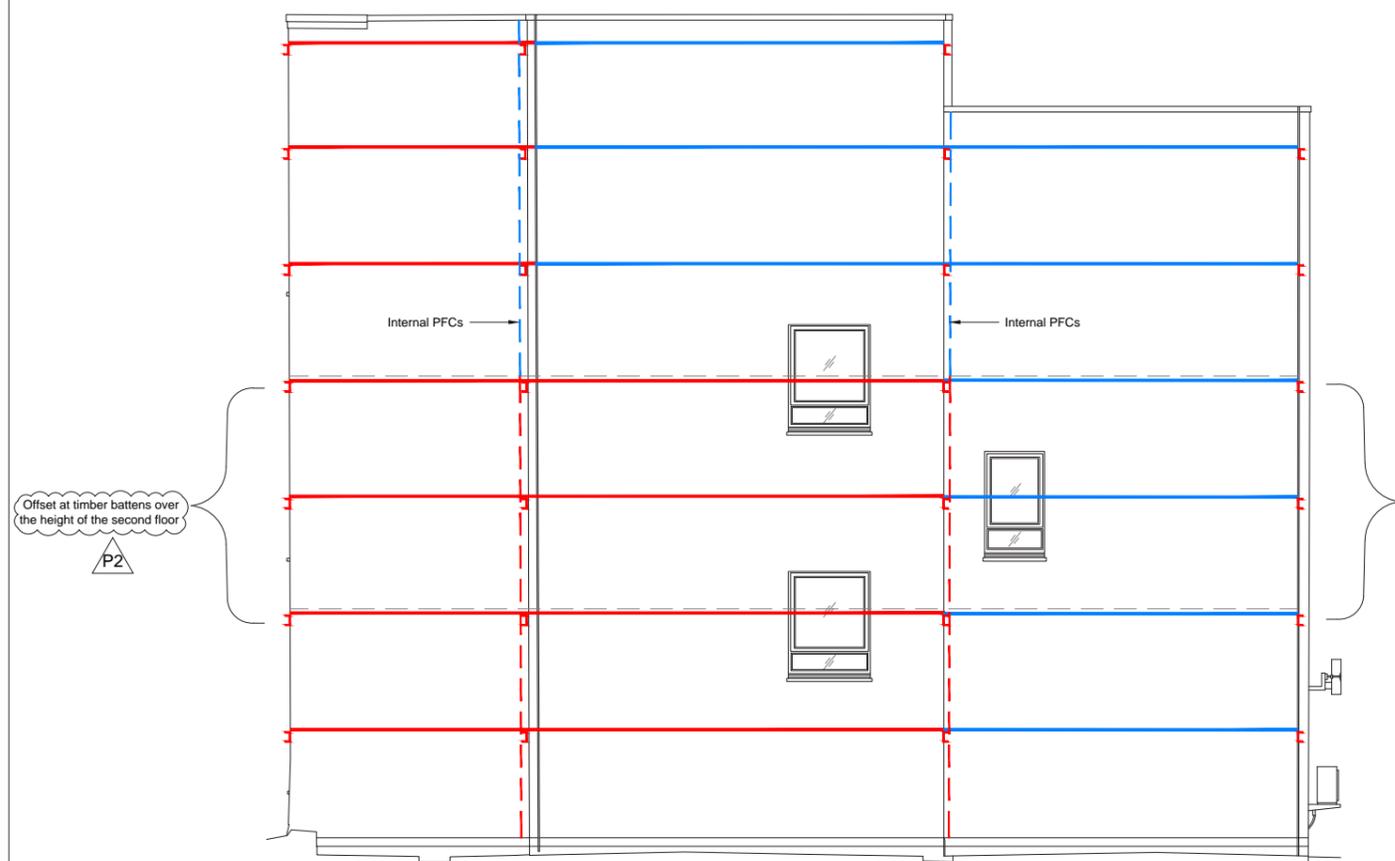
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Client
**NHS Shetland
Gilbert Bain Hospital
South Road
Lerwick
ZE1 0TB**

Title
**Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
Elevations (Sheet 1 of 2)**

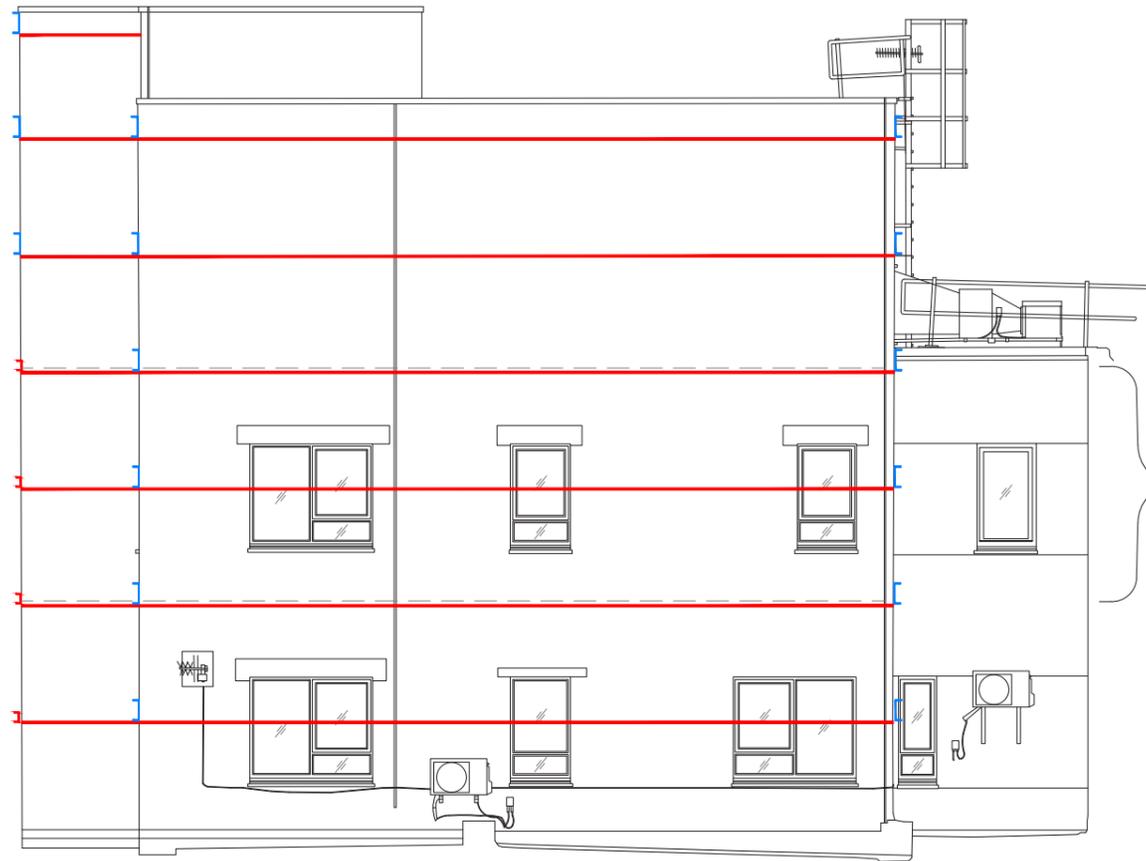
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Drawing Number
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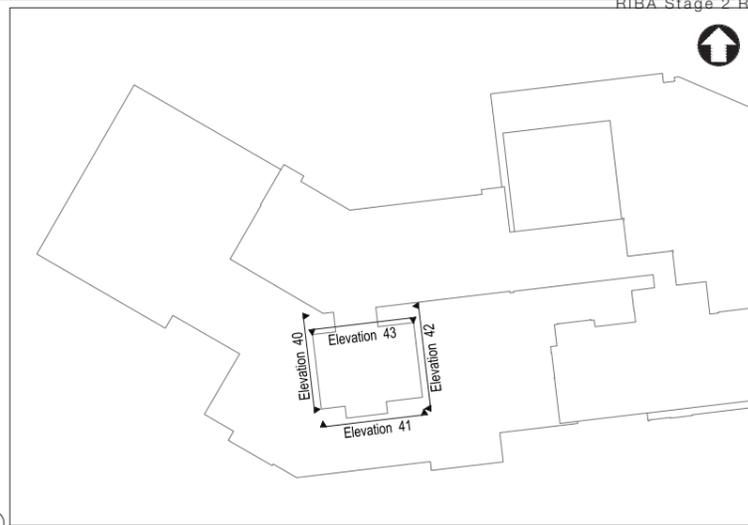


ELEVATION 41
FOUR STOREY SOUTH ELEVATION
SCALE 1:50





ELEVATION 42
FOUR STOREY EAST ELEVATION
SCALE 1:50



GILBERT BAIN HOSPITAL
ELEVATION LOCATION PLAN
SCALE 1:500

Notes

- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.

Key to symbols

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	300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers
	150 x 75 x 18 PFC (S275) Internal PFC (Isolated Members)
	300 x 90 x 41 PFC (S275) Internal PFC (Isolated Members)
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	300 x 90 x 41 PFC (S275) at 1.65m Vertical Centers

Reference drawings

MMD-100106891 NH04-S-DR-00-01-100	First Floor Plan
MMD-100106891 NH04-S-DR-00-02-100	Second Floor Plan
MMD-100106891 NH04-S-DR-00-03-100	Third Floor Plan
MMD-100106891 NH04-S-DR-00-XX-100	Elevations (Sheet 1 of 2)
MMD-100106891 NH04-S-DR-00-XX-102	Connection Details (Sheet 1 of 3)
MMD-100106891 NH04-S-DR-00-XX-103	Connection Details (Sheet 2 of 3)
MMD-100106891 NH04-S-DR-00-XX-104	Connection Details (Sheet 3 of 3)

P2	05:25	EW	Key and Notes Revised as Indicated	NP	JM
P1	05:25	EW	Preliminary Issue	NP	JM
Rev	Date	Drawn	Description	Ch'k'd	App'd

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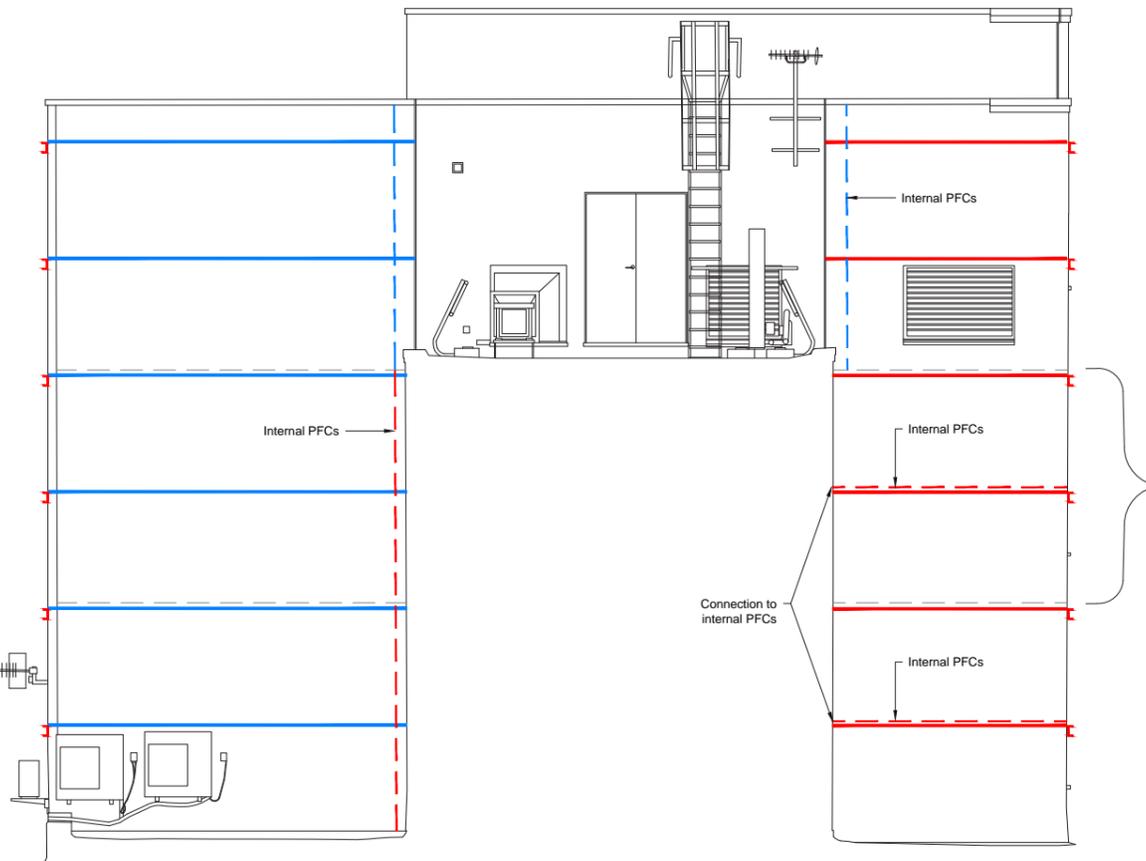
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Lerwick
ZE1 0TB**

Title
**Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls**

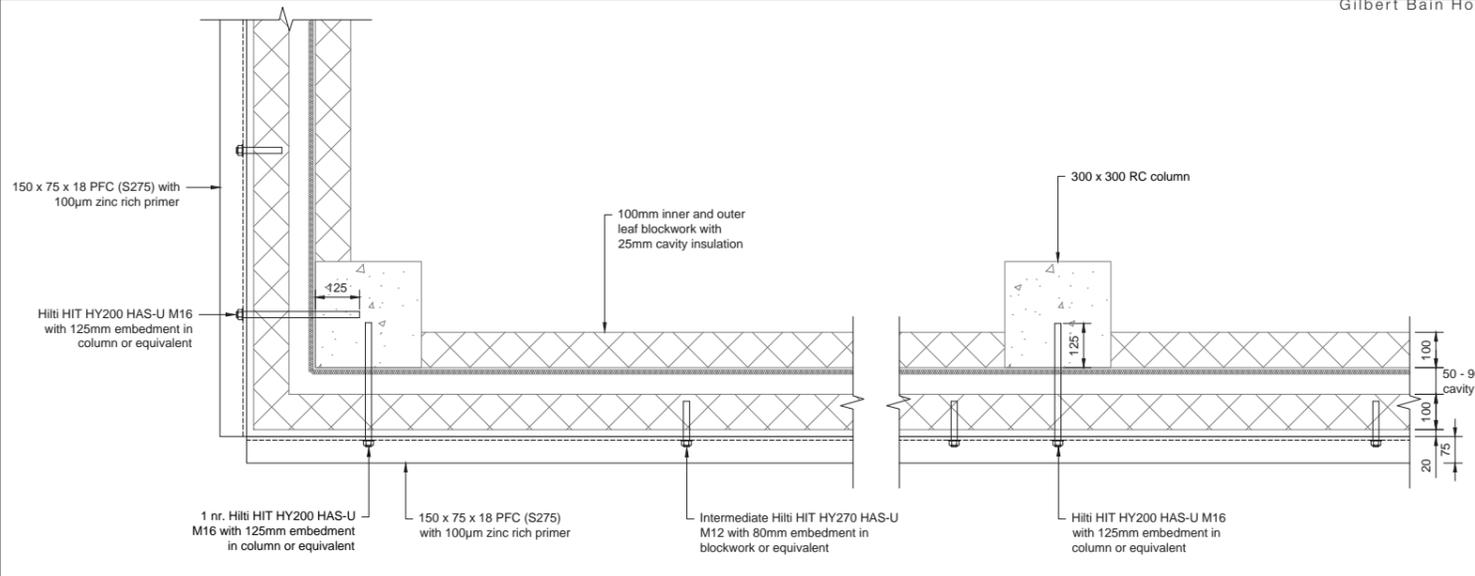
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Elevations (Sheet 2 of 2)**

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Dwg check	N Pearson	NP	Approved	J Moncrieff	JM
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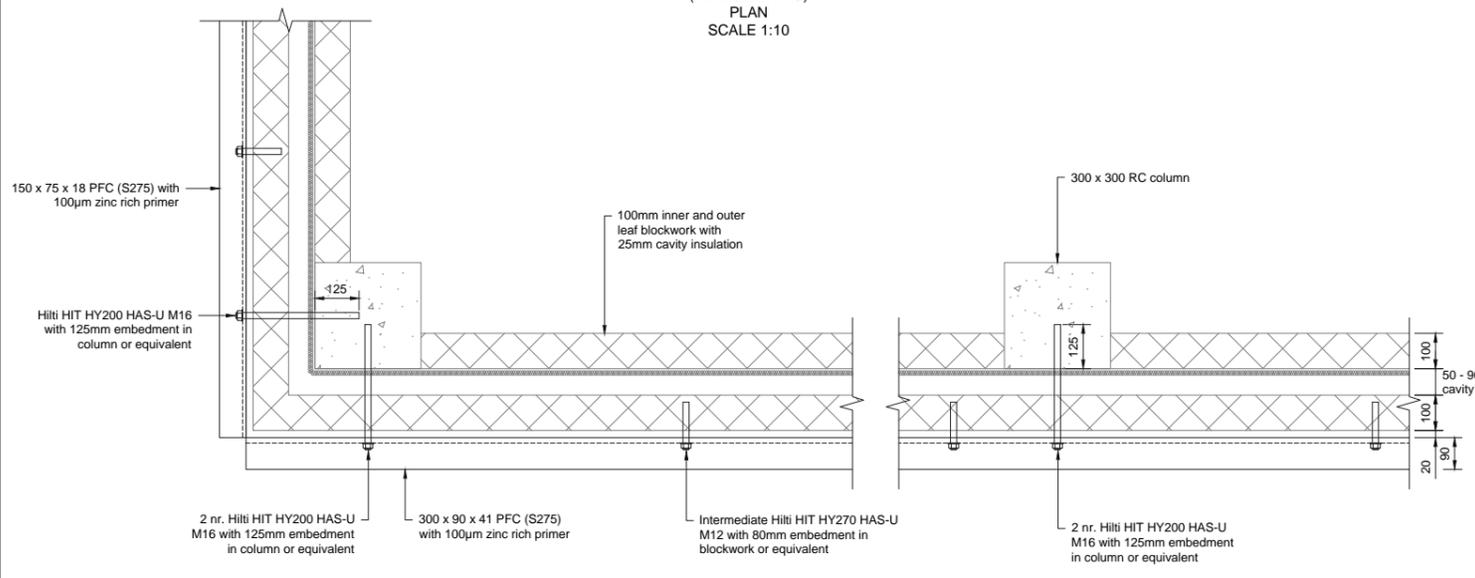
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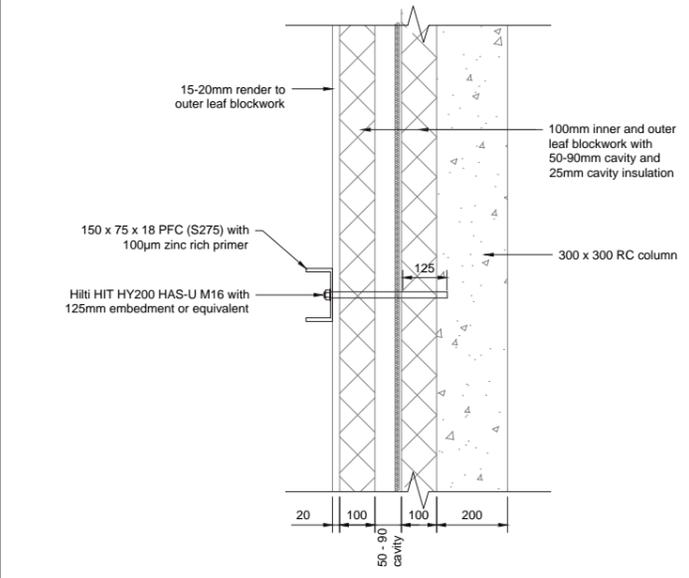
ELEVATION 43
FOUR STOREY NORTH ELEVATION
SCALE 1:50



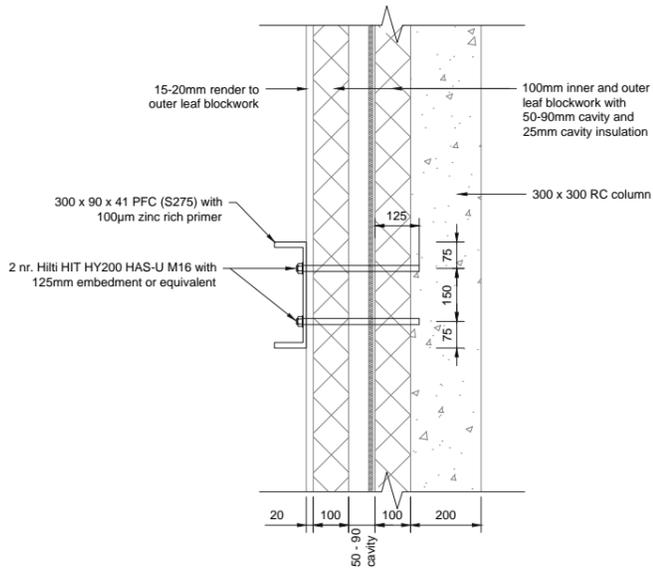
150 x 75 x 18 PFC to RC COLUMNS
(No offset at PFC)
PLAN
SCALE 1:10



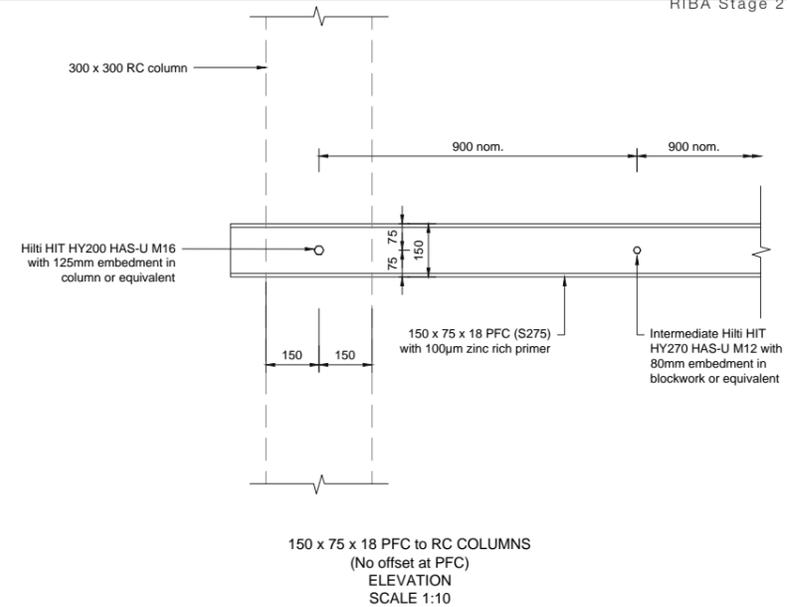
300 x 90 x 41 PFC to RC COLUMNS
(No offset at PFC)
PLAN
SCALE 1:10



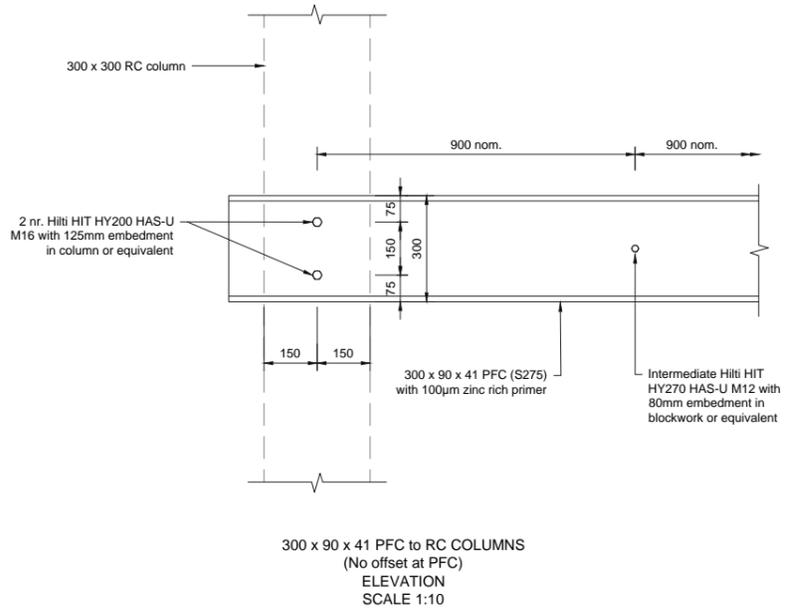
150 x 75 x 18 PFC to RC COLUMNS
(No offset at PFC)
SECTION
SCALE 1:10



300 x 90 x 41 PFC to RC COLUMNS
(No offset at PFC)
SECTION
SCALE 1:10



150 x 75 x 18 PFC to RC COLUMNS
(No offset at PFC)
ELEVATION
SCALE 1:10



300 x 90 x 41 PFC to RC COLUMNS
(No offset at PFC)
ELEVATION
SCALE 1:10

Notes
1. All dimensions are in metres unless noted otherwise.
2. All levels are in metres unless noted otherwise.

Key to symbols

Reference drawings
MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
MMD-100106891 NH04-S-DR-00-02-100 - Second Floor Plan
MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)
MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)

P1	05:25	EW	Preliminary Issue	NP	JM
Rev	Date	Drawn	Description	Ch'k'd	App'd

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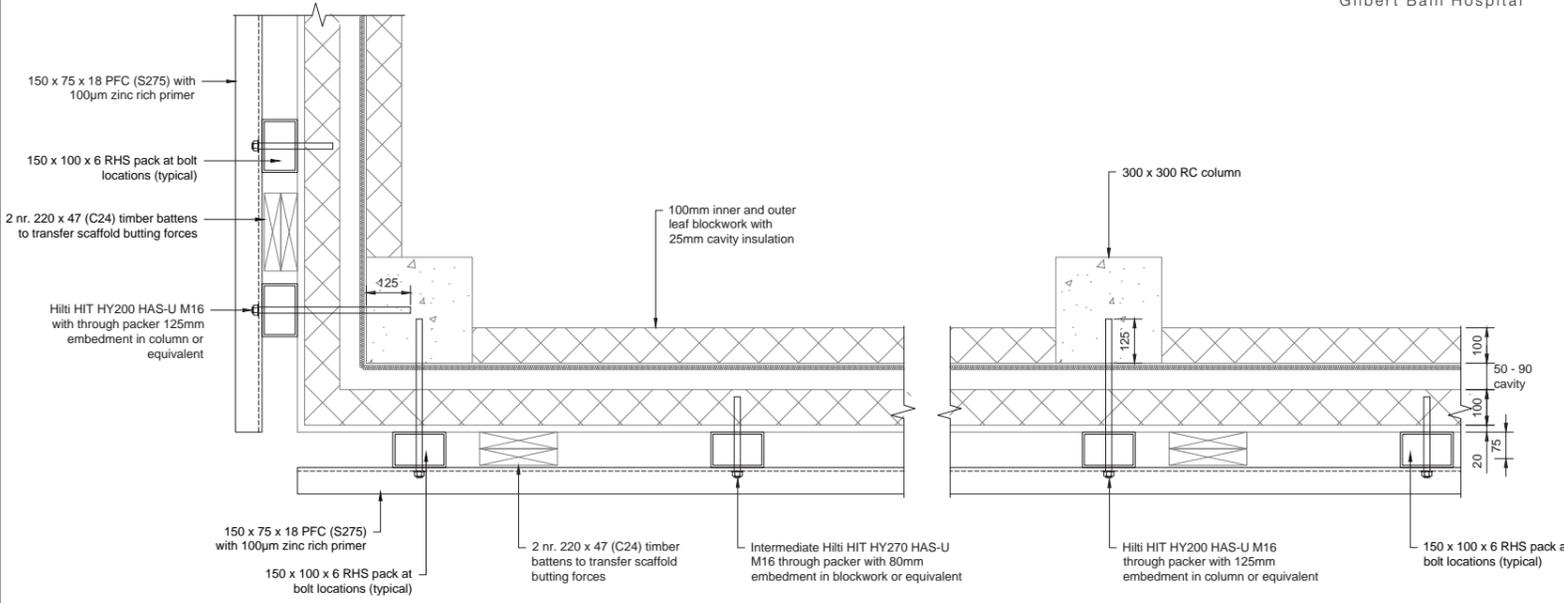
Client
**NHS Shetland
Gilbert Bain Hospital
South Road
Lerwick
ZE1 0TB**

Title
**Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
Connection Details (Sheet 1 of 3)**

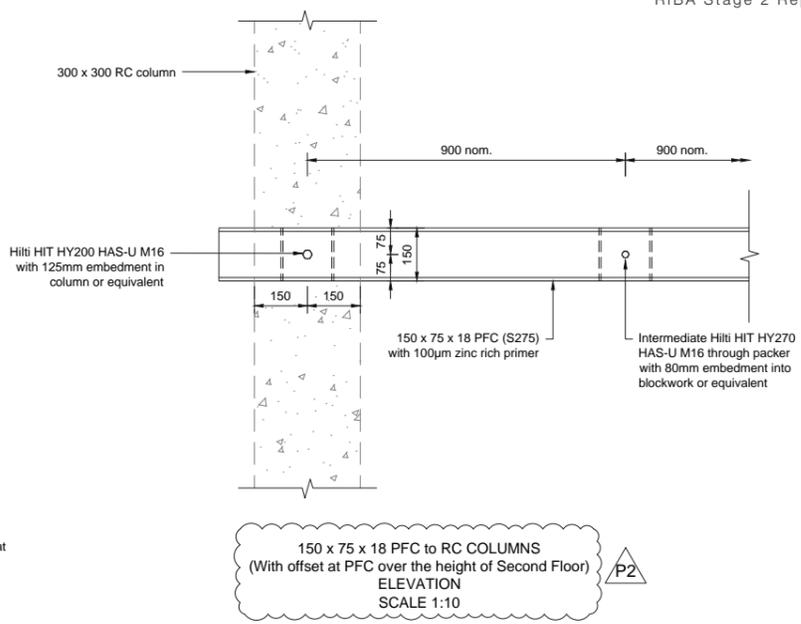
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Dwg check	N Pearson	NP	Approved	J Moncrieff	JM
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1:10	PRE	P1	STD		

Drawing Number
MMD-100106891 NH04-S-DR-00-XX-102

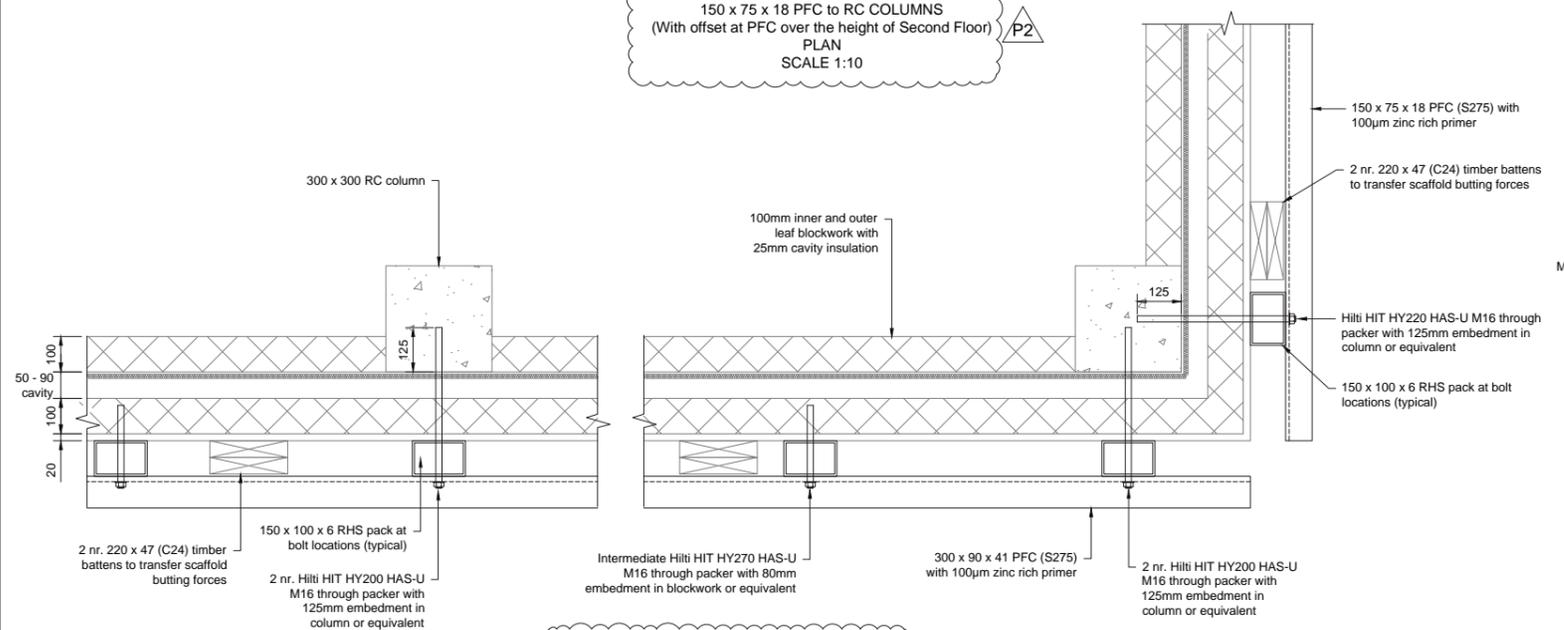




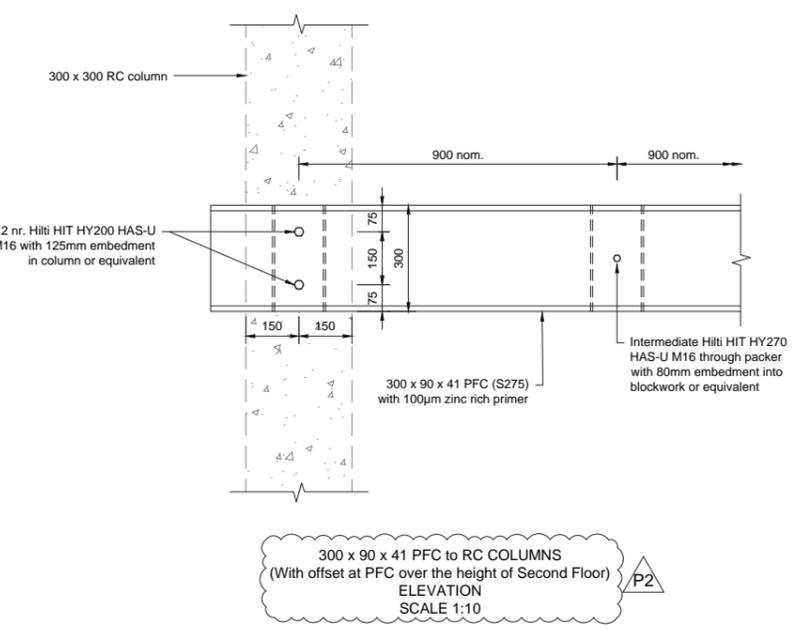
150 x 75 x 18 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
PLAN
SCALE 1:10



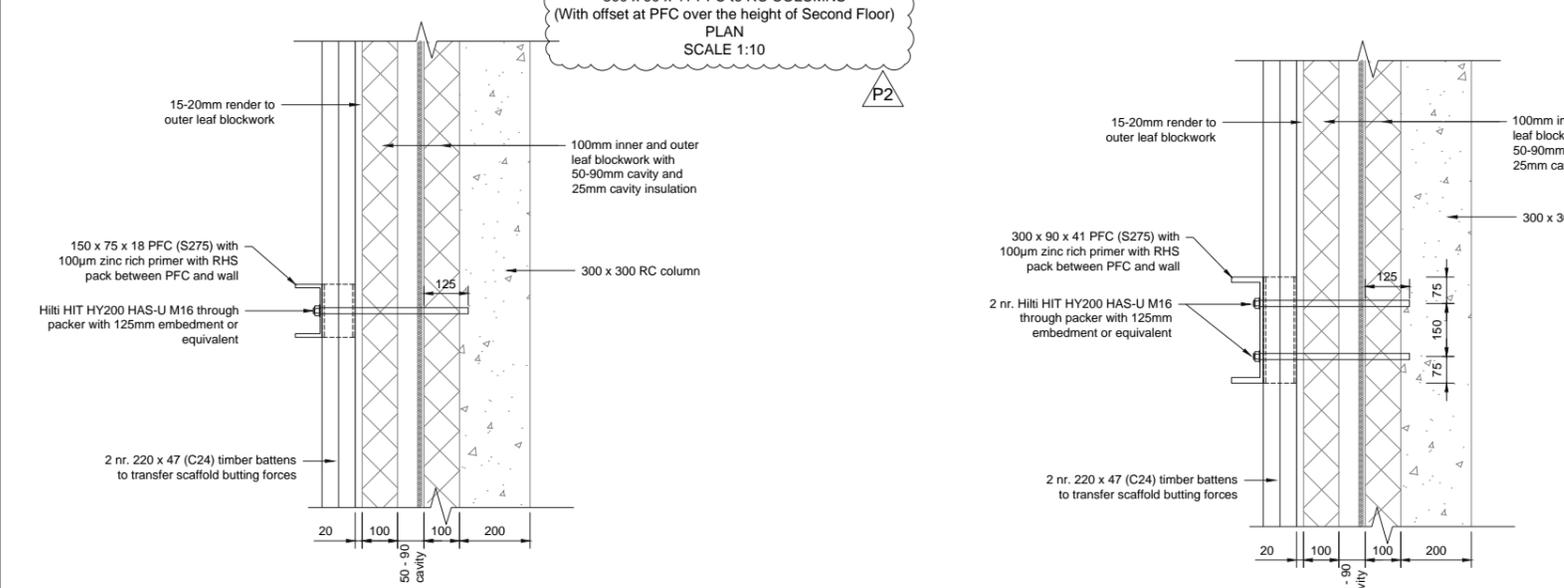
150 x 75 x 18 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
ELEVATION
SCALE 1:10



300 x 90 x 41 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
PLAN
SCALE 1:10



300 x 90 x 41 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
ELEVATION
SCALE 1:10



150 x 75 x 18 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
SECTION
SCALE 1:10

300 x 90 x 41 PFC to RC COLUMNS
(With offset at PFC over the height of Second Floor)
SECTION
SCALE 1:10

Notes

- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.

Key to symbols

Reference drawings

- MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
- MMD-100106891 NH04-S-DR-00-02-100 - Second Floor Plan
- MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
- MMD-100106891 NH04-S-DR-00-XX-101 - Elevations (Sheet 2 of 2)
- MMD-100106891 NH04-S-DR-00-XX-102 - Connection Details (Sheet 1 of 3)
- MMD-100106891 NH04-S-DR-00-XX-104 - Connection Details (Sheet 3 of 3)

Rev	Date	Drawn	Description	Ch'k'd	App'd
P2	05:25	EW	Titles Revised to Include Location	NP	JM
P1	05:25	EW	Preliminary Issue	NP	JM

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Title
**Gilbert Bain Hospital Phase 1 Construction
Re-Cladding of External Walls
Strapping to Four Storey Block Walls
Connection Details (Sheet 2 of 3)**

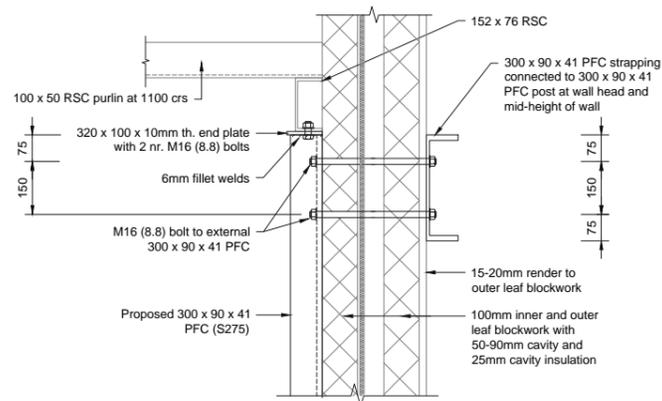
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Drawn	E Wishart	EW	Coordination	N Pearson	NP
Dwg check	N Pearson	NP	Approved	J Moncrieff	JM
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Drawing Number
MMD-100106891 NH04-S-DR-00-XX-103

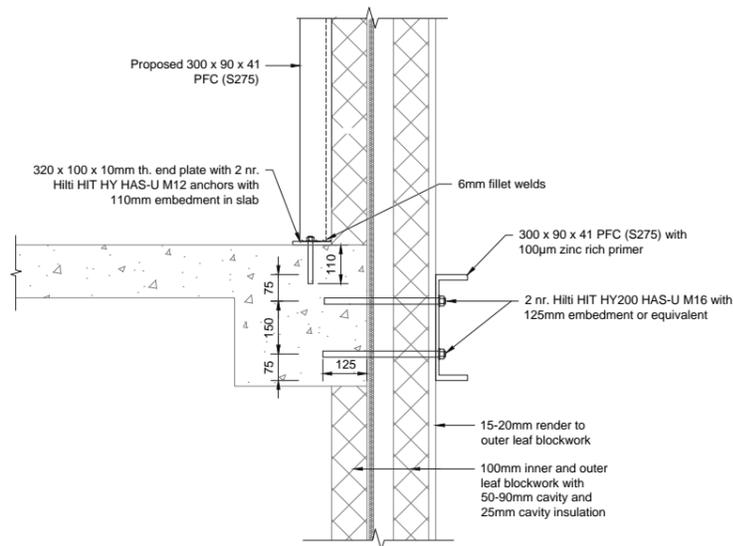
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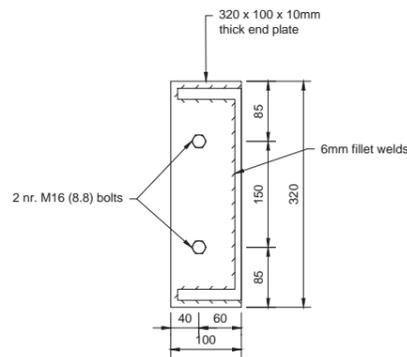




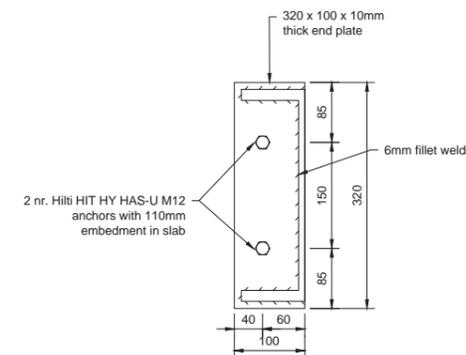
INTERNAL 300 x 90 x 41 PFC to EXISTING 152 x 76 RSC IN PLANTROOM
SCALE 1:10



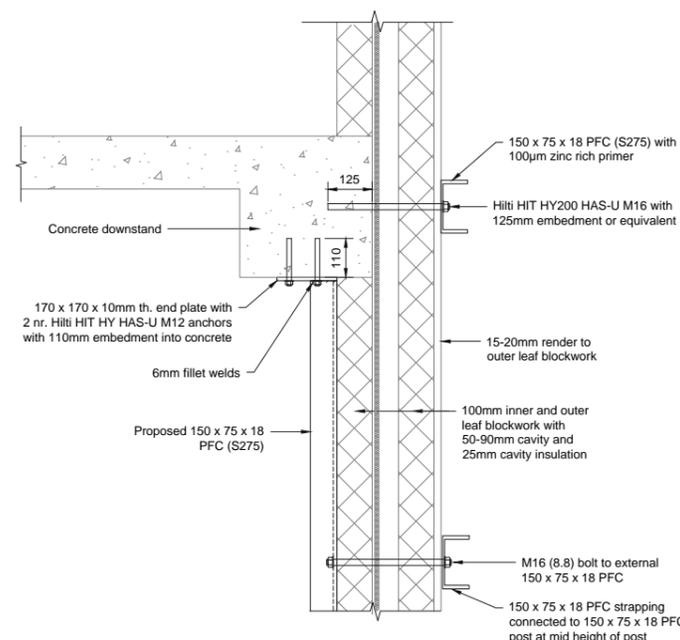
INTERNAL 300 x 90 x 41 PFC to EXISTING PLANTROOM FLOOR CONCRETE SLAB
SCALE 1:10



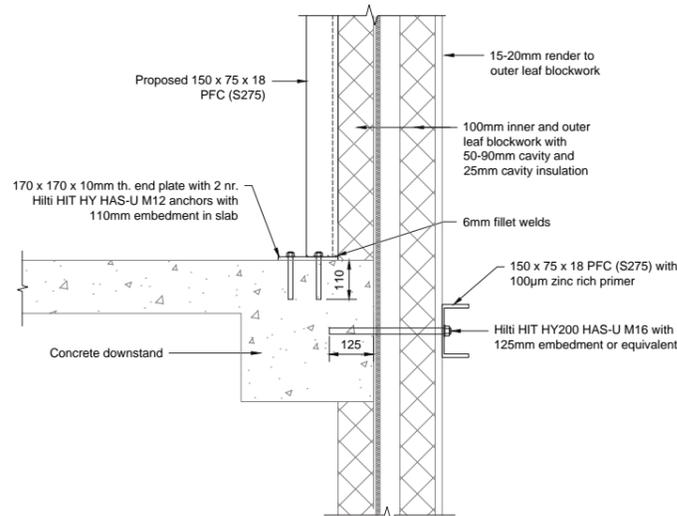
300 x 90 x 41 PFC END PLATE (TOP)
SCALE 1:5



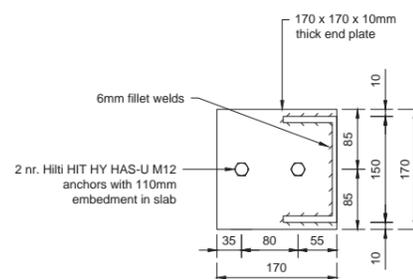
300 x 90 x 41 PFC END PLATE (BASE)
SCALE 1:5



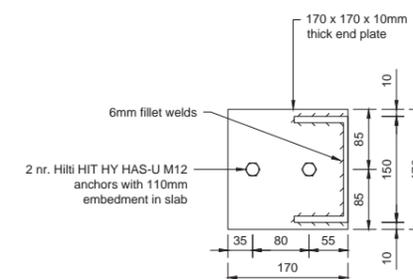
INTERNAL 150 x 75 x 18 PFC to EXISTING CONCRETE DOWNSTAND
SCALE 1:10



INTERNAL 150 x 75 x 18 PFC to EXISTING CONCRETE SLAB
SCALE 1:10



150 x 75 x 18 PFC END PLATE (TOP)
SCALE 1:5



150 x 75 x 18 PFC END PLATE (BASE)
SCALE 1:5

Notes

- All dimensions are in metres unless noted otherwise.
- All levels are in metres unless noted otherwise.
- Horizontally orientated internal 150 x 75 x 18 PFCs to be connected to RC columns with 1 nr. Hilti HIT HY200 HAS-U M16 injection mortar anchor or equivalent with 125mm embedment located in the centre of PFC web and in the middle of the RC column

Key to symbols

Reference drawings

- MMD-100106891 NH04-S-DR-00-01-100 - First Floor Plan
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- MMD-100106891 NH04-S-DR-00-03-100 - Third Floor Plan
- MMD-100106891 NH04-S-DR-00-XX-100 - Elevations (Sheet 1 of 2)
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- MMD-100106891 NH04-S-DR-00-XX-103 - Connection Details (Sheet 2 of 3)

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Drawn	E Wishart	EW	Coordination	N Pearson	NP
Dwg check	N Pearson	NP	Approved	J Moncrieff	JM

Scale at A1	Status	Rev	Security
1:10	PRE	P1	STD

Drawing Number
MMD-100106891 NH04-S-DR-00-XX-104



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